

**11. PUBLIC HEARING  
CONDITIONAL USE PERMIT – VERIZON WIRELESS****OPENING STATEMENT**

This public hearing is held pursuant to § 15.2-2204, Code of Virginia, 1950, as amended to receive public comment on an application by Verizon Wireless (agent), on behalf of Paige Pulley (owner), for a conditional use permit to permit construction of a 199' wireless telecommunication tower along with associated equipment behind the residence located at 32168 Millfield Road. The proposed site is approximately 2,000 feet east of the intersection of Ivor Road (Rt. 616) and Millfield Road (Rt. 605), has a zoning designation of A-1, Agricultural, and will consist of approximately 10,000 square feet plus an access easement from a 60.4 acre parent parcel. The property is a portion of Tax Parcel 23-14 and is located in the Berlin-Ivor Voting and Magisterial Districts.

The notice of public hearing was published in the Tidewater News on November 10 and November 17, 2013 as required by law. After conclusion of the public hearing, the Board of Supervisors will consider the comments offered this evening and will proceed to adopt, reject or defer action on the proposed application.

**MOTION REQUIRED:**

**If the Board is so inclined, a motion is required to approve the attached application.**



**DEPARTMENT OF COMMUNITY DEVELOPMENT  
PLANNING - BUILDING INSPECTIONS – ZONING**

**MEMORANDUM**

**TO:** Michael Johnson, County Administrator  
**FROM:** Beth Lewis, AICP, Community Development Deputy Director  
**DATE:** November 4, 2013  
**RE:** Conditional Use Permit request

At their regular meeting on October 10, 2013, the Planning Commission made a unanimous recommendation of approval regarding the request for a Conditional Use Permit for a new telecommunications tower to be located behind 32169 Millfield Road near Ivor. After a lengthy discussion with the applicant, the applicant's attorney, and the County's consultant, the Planning Commission recommended that the application as presented meets all of the requirements of the Municipal Code regarding new telecommunications towers, and felt the new tower would be a positive contribution to the telecommunications services available in the County.

As additional information, the Planning Commission will consider a revision to the current 199' height limit for telecommunication towers at their November 14 meeting. They wish to consider whether taller towers may provide better service to a wider area, and may reduce the number of towers needed. Should they decide to make a recommendation regarding an increase in tower height that recommendation will, after appropriate public hearing, be forwarded to the Board of Supervisors for consideration.

## **CUP 2013:01**

Paige Pulley, owner

Drew Patterson for Verizon Wireless, applicant

Application Request: Conditional Use Permit

### **IDENTIFICATION AND LOCATION INFORMATION**

Comprehensive  
Plan designation: Agricultural/Forest/Open Space/Rural Residential

Zoning designation: A-1, Agricultural

Acreage: Total acreage, 60.4+/-  
Area to be considered, 10,000 square foot lease area plus  
associated access easement

Current Use: Agriculture

Tax Map No.: TP 23-14

Location: Behind 32168 Millfield Road, which is approximately 2,000 feet  
east of the intersection of Ivor Road (Rt. 616) and Millfield Road (Rt.  
605)

Magisterial District: Berlin-Ivor

Voting District: Berlin-Ivor

Adjacent Zoning: North: A-1  
South: A-1  
East: A-1  
West: A-1

Adjacent Land Use: North: One single family residence, agriculture and forestry  
South: Agriculture and forestry  
East: Agriculture and forestry  
West: Agriculture and forestry

### **PROJECT ANALYSIS**

#### Overview

The applicant is seeking a Conditional Use Permit to construct a new 199' self-support tower and associated equipment to provide enhanced wireless service in the Pulley Crossroads area.

The A-1, Agricultural zoning district permits the following:

“(47.1) Wireless communication facilities per [section 18-427](#) of this chapter.”

**The Supplementary Regulations portion of the Municipal Code (above-referenced Sec. 18-427) provides the following:**

*Conditional use permit review process.* Applications requiring a conditional use permit require approval by the board of supervisors in order to permit construction.

The following information shall be supplied as a minimum requirement for application requiring a conditional use permit:

- (1) Scaled drawings, signed and sealed by appropriate licensed professionals, showing the location and dimensions of all improvements, including information concerning the structure, equipment, utilities, grounding, topography, setbacks, drives, parking, fencing, landscaping, adjacent uses and other information deemed necessary to assess the proposal.
- (2) Photographs of the site from a minimum of five (5) points surrounding the site as designated by the director of planning or his/her designee that include a simulated photographic image to scale of the proposed wireless telecommunication facility. The photograph with the simulated image shall include the foreground, mid-ground and the background of the site. A map shall be provided indicating the location and distance from the point at which the photograph was taken to the proposed site.
- (3) A statement from an electrical engineer attesting that the cumulative effect of all existing and proposed antennas will not result in a ground level exposure of non-ionizing electromagnetic radiation (NIER) that exceeds the lowest applicable exposure standards established by the FCC.
- (4) An inventory of the existing wireless telecommunication facilities owned and/or operated by the applicant and other entities associated with the application that are located within the jurisdiction of Southampton County or within five (5) miles of the border thereof, including specific information about the location and height of each antenna and/or antenna support structure.
- (5) A radio frequency technician's statement that specifically describes the coverage area objective, the "hand-off" sites, equipment specifications, methodology, assumptions, constraints and other factors used in the design. The technician's statement shall be supported by propagation maps that include a legend referencing signal strength. At a minimum, the following coverage maps shall be presented:
  - a. Existing network coverage (minimum ten-mile radius surrounding the proposed site)
  - b. Proposed coverage from the proposed site
  - c. Composite network coverage (existing and proposed coverage)

- d. Composite network coverage (existing and proposed coverage) demonstrating the effect on coverage as the height of the proposed structure is reduced at 20-foot increments to a minimum height of eighty (80) feet AGL.
- (6) Evidence demonstrating the inadequacy or unavailability of other structures within a three-mile radius of the proposed site. In assessing the adequacy of existing structures, the applicant should consider the use of one or more existing structures or a combination of an existing structure and a new structure at a lower height than proposed as a means to achieve coverage objective.
- (7) An engineering report by a structural engineer describing the structure height, design, and capacity of the proposed antenna support structure including the number and type of antenna which could be accommodated in accordance with the requirements set forth in the latest revision to ANSI EIA/TIE 222.
- (8) Applicants proposing new structures shall include a statement regarding their co-location policy.
- (9) FAA Air Navigation Hazard Determination report. A consultant study will not be accepted as a substitute to this requirement.
- (10) FCC Environmental Compliance report identifying the impact on environmental resources, prepared in accordance with the National Environmental Policy Act of 1969 (NEPA).
- (11) Report describing the impact on historic resources prepared in accordance with Section 106 of the National Historic Preservation Act of 1966 (NHPA). This report should be accompanied by written comment by the State Historic Preservation Office (SHPO).
- (12) FCC license for each wireless service provider associated with the application.
- (13) A report prepared by a structural engineer certifying that the proposed structure is capable of supporting similar users, including the primary user, in accordance with the table below.

**Sec. 18-427 continues with the following requirements:**

*General standards.* The following general standards shall apply to all applications proposing wireless telecommunication facilities:

- (1) Antenna support structure shall not exceed the maximum height above ground level (AGL) established in the following table:

Zoning District	Maximum Height AGL
Residential	80 ft.
Business	199 ft.
Industrial	199 ft.
Agricultural	199 ft.
PUD	80 ft.

(2) The following setback requirements shall apply:

- a. All antenna support structures must be setback two hundred (200) percent of the height of the structure from the nearest residential structure, and in no case less than four hundred (400) feet.
- b. All antenna support structures shall be setback one hundred ten (110) percent of the height of the structure from all property lines.
- c. All wireless telecommunication facilities must satisfy the minimum zoning district setback requirements for primary structures.

(3) Speculative structures are not permitted. Applications to construct new antenna support structures will not be considered unless evidence is presented of a legally binding commitment by at least one (1) wireless service provider agreeing to install and operate his equipment on the proposed structure upon its construction for a minimum period of one (1) year.

(4) All antenna support structures shall be enclosed by security fencing not less than six (6) feet in height in height, equipped with an appropriate anti-climbing device.

(5) The following requirements shall govern the landscaping surrounding wireless telecommunications facilities:

- a. Any combination of landscaped vegetative buffers, landscaped earthen berms or preservation of existing vegetation shall be provided around the perimeter of the site of any wireless telecommunication facility to effectively screen the view of the equipment compound from

adjacent parcels. The standard buffer shall consist of a mix of native trees and shrubs planted in a landscaped area at least fifteen (15) feet wide outside the perimeter of the compound.

b. Existing mature tree growth and natural landforms on the site shall be preserved to the maximum extent possible. In some cases the Board of Supervisors may determine that the natural growth around the perimeter may be a sufficient buffer and waive the landscape requirements.

c. All trees shall be preserved and protected during construction of wireless telecommunication facilities except where clearing is required to accommodate the proposed facilities and vehicular access.

d. The wireless telecommunication facility owner is responsible for maintaining all landscape plant material in a healthy condition. Dead plants shall be removed and replaced in-kind.

(6) The treatment, color and lighting system for wireless telecommunication facilities shall be as follows:

a. Antenna support structures shall either maintain a galvanized steel finish, or subject to any applicable standards of the FAA be painted a neutral color so as to reduce visual obtrusiveness. Antennas shall be a neutral, non-reflective color with no logos.

b. The design of the buildings and related structures shall to the extent possible use materials, colors, textures and screening that will blend the wireless telecommunication facility with the natural setting and the built environment.

c. Antenna support structures shall not be artificially lighted unless required by the FAA or other applicable authority. If lighting is required, the Board of Supervisors may review the lighting alternatives and approve the design in accordance with applicable requirements that would cause the least disturbance to the surrounding views.

(7) Commercial advertising is not permitted on any component of the wireless telecommunication facility.

(8) Wireless telecommunication facilities shall be designed and installed so as not to interfere with the county's public safety radio system or public safety radio systems operated in other jurisdictions. Any entity operating wireless facilities determined to interfere with the county's or another jurisdiction's public safety radio system shall take corrective action immediately upon notification.

(9) All wireless telecommunication facilities must meet or exceed current standards and regulations of the FAA, the FCC and any other agency of the federal government with the authority to regulate their operation. If such standards and regulations are changed, then the owners of the facilities shall bring such facilities into compliance with such revised standards and

regulations as required by law. Failure to comply shall constitute grounds for the removal of the facility at the owner's expense.

(10) At such time that any component of the wireless telecommunication facility ceases to be operated for a continuous period of twelve (12) months, it shall be considered abandoned, and the owner of such facility shall remove same within ninety (90) days of receipt of notice from the department of planning of the removal requirement. The applicant shall post a bond equivalent to the cost of removal of the antenna support structure with the director of planning prior to issuance of a permit.

(11) The owner of each antenna support structure shall have a safety inspection conducted annually by a registered professional engineer licensed by the Commonwealth of Virginia. A copy of the inspection report shall be filed annually in March with the department of planning. The report shall state the current user status of the antenna and/or support structure and the overall condition of the facility in accordance with the latest revision of ANSI EIA/TIA-222.

(12) Any additional costs relating to additional reviews, errors, omissions, discrepancies, delays or extensions as the result of actions or requests by the applicant, shall be reimbursed by the applicant.

(13) The owner of the antenna support structure shall provide the name and address of a contact person during the approval process and shall notify the department of planning in writing of any changes. The name and address of a registered agent for each lessee of tower space shall also be provided to the Department of Planning.

(g) *Technical review/fees.* Applications for all wireless telecommunication facilities, whether tower or co-location shall require a technical review that will be conducted by consultant selected by the county. Any fees associated with performance of this review will be paid by the applicant.

(h) *Accordance with applicable regulations.* This article shall be interpreted in accordance with all applicable federal, state and local statues, ordinances and regulations. In the event that a court of competent jurisdiction determines that a provision of this article is invalid, the remaining provisions of this article shall be interpreted as if such unenforceable provisions(s) were not included.

**Per the application, the following is provided:**

- Tower height including the lightening rod will be 199'.
- The tower will be fitted with one antennae array with twelve panel antennas and a 4' lightening rod.
- A 192 square foot equipment shelter, an emergency generator with an associated 32 square foot concrete pad, and a six foot chain link fence enclosure will be installed at the base of the monopole. At the top of the fence three strands of barbed wire will be installed to serve as an anti-climbing device.

- Landscaping will be installed around the north, east and west sides of the fenced area, and the existing trees along the south side will be preserved to act as the buffer. Landscaping to be installed will include a mix of oak, pine, and bayberry.
- The existing mature tree growth on-site will be preserved. No existing trees will be removed to install this device or to install the vehicular access.
- There are no off-site residences within one-half mile of the proposed tower. The closest residence is owned by a member of the Pulley family.
- The tower will have a galvanized steel finish, the antennas will be a neutral, non-reflective color with no logos, and the shelter will have an aggregate stone finish. Lighting will only be installed if required by FCC regulations.
- The facility will be designed so as not to interfere with the County's public safety radio system or the public safety systems of other jurisdictions.
- The facility will meet or exceed all applicable regulations and shall have a safety inspection on an annual basis.
- Should any component of the facility cease to be operated for a continuous 12 month period, it shall be considered abandoned and removed within 90 days of receipt of notice from the County.
- The required review by the County's consultant was performed and is attached. Per the report, "In general, it is the opinion of this consultant that this application conforms in letter, spirit, and intent with all Federal, State, and County regulations regarding the construction of telecommunications support structures, represents sound design, and should therefore be granted approval by way of issuance of the requested special use permit." Note that the request is for a Conditional Use Permit as required by the Municipal Code, not a Special Use Permit.

### **RECOMMENDATION OF CONSULTANT**

From Page 13 of Consultant report

"Recommendations:

1. Grant the application as submitted.
2. Applicant could possibly provide, free of charge, one antenna slot on this tower for public safety.
3. The NEPA (National Environmental Policy Act) Report should be completed prior to issuance of a building permit. The consultant believes upon a field inspection that there will be no disturbance of endangered species or environmental concerns. The Application should move forward.
4. The Applicant should supply the County with this Section 106 Report and any comments concerning historic impacts prior to the issuance of a building permit."

### **COMMUNITY COMMENTS**

No comments were received.

## **CONCLUSION**

### Strengths of application:

- All of the requirements of the Municipal Code for the construction of a new telecommunications tower have been met, both by the review of the outside consultant hired by the County, and Community Development staff.
- Existing service maps provided with application indicate telecommunication availability is marginal at best from just south of the Town of Ivor south through the Sedley area and extending to near Courtland. There would still be an area with marginal at best service surrounding Sedley, but the northern part of the County would have more reliable coverage.
- The consultant report states that “The proposed site is the only viable option to allow the applicant to meet their coverage needs as demonstrated in the coverage maps submitted with the application.”
- Sufficient screening exists and will be installed to minimize the visual impacts of the proposed tower.

### Weaknesses of application:

- None noted

## **SUPPORT INFORMATION AND ATTACHMENTS**

- 1) Staff analysis
- 2) Consultant report
- 3) Application and submitted materials
- 4) Soils map
- 5) Adjacent property owner notification

## **PLANNING COMMISSION ACTIONS**

Chairman Drake said item number three is a public hearing that we have scheduled for tonight from Mr. Drew Patterson with Verizon Wireless. He will be the agent for Mr. Paige Pulley. He asked Mrs. Beth Lewis to elaborate please.

Mrs. Beth Lewis said that the Southampton County zoning ordinance requires that new telecommunication towers be granted a conditional use permit in A-1 zoning district so that is what this request is for. This would be a 10,000 square foot area on a piece of property which is about 60 acres. It is located behind 31286 Millfield Road. When an application is submitted the process is started off for the zoning ordinance by the county sending it out to a consultant and this consultant has been the county’s consultant for a long time. They review the plans to make sure they meet the requirements of the zoning ordinance and also the requirements of the FFA and outside agencies that would license this. So we have the county’s consultants here. We have the applicant and their consultant here. The plan that was submitted meets all the requirements of the zoning ordinance. The notices were sent out to the abutting property owners. No comments

were received. Most of the abutting property owners are the applicant's family. As you can see from the photographs that were included in the package, which we will show on the screen in a few minutes, the tower is very difficult to see from most places. The tower is only going to be 199' tall and the trees on three side of it are pretty near a hundred feet tall themselves so it sits pretty far off from the road. She stated that she would like for the applicant to speak. She stated that she would turn on the power point presentation and see if it works; if not we have a paper copy.

Chairman Drake asked Mr. Patterson if he would like to come up and make some comments please.

The fellow approaching the podium stated that he was not Mr. Drew Patterson that he was Mr. Steve Romines the attorney for Verizon, but Mr. Drew Patterson is here tonight as well. The project manager for Verizon is here as well. He said good evening and thanked Chairman Drake and the Commission for allowing him the opportunity to present the CUP 2013:01 tonight. He stated that we wanted to thank Mrs. Beth Lewis for all the help and support that she had given them thus far on the application. He said what he wanted to do was run through the highlights of this Power point and then we will have a time for questions. As most of you know wireless technology provided a critical link for government and emergency services. In the U. S. today over two hundred million Americans use cell phones and digital devices. In many homes there are multiple cell phones and devices. They are used by children, spouses, and friends. The tower here will be used by Verizon. It is a wireless carrier that provides series to the citizens of Southampton County. Part of our licensing requires us to provide these services. Wireless phones operate by transmitting a low powered radio signal between the phone and the antenna or tower pole. Where there is not a pole structure you attach an antenna to get the coverage. We are not in the tower business. We don't go around trying to build towers. We just need the towers and infrastructure to carry the antenna so the wireless network will work. We are in the business to help with communication and wireless service so that is the reason we have a proposal tonight for this tower. You will receive high quality service, full range of services to customers and provide service to travelers. As Mrs. Beth Lewis mentioned earlier it is a large tract of land with 60+ acres. It is zoned A-1. The proposal is a 199'self-support lattice tower with a 12 x 16 equipment shelter at the base within a sheltered compound fenced area about 85 x 85. Again we believe this is a win-win. A win for the carrier which is Verizon and a win for the community and the residents because they will get enhanced coverage in the area. He stated that they had met the zoning requirements for the setbacks. There will be landscaping along the fenced in compound. We recommend that you grant the application as submitted. The applicant could possibly provide, free of charge, one antenna slot on this tower for public safety. He stated they would have to provide the NEPA (National Environmental Policy Act) report prior to issuance of a building permit. The applicant should supply the County with Section 106 Report and any comments concerning historic impacts prior to the issuance of a building permit. He stated with that introduction he would present the Power point presentation (found in the official Planning Commission minutes)

Commissioner Edwards said I would like to ask a question and I may be off track a little, but the southwest part of the county has no coverage. Does Verizon have any plans out towards Newsoms and Boykins where we have no coverage or very little reception?

Mr. Steve Romines said you are talking about where now?

Commissioner Edwards said southwest, come down to the bottom of the map and go west.

Mr. Steve Romines said he didn't know of any plans yet, but that they would take that question back and try to find out for us

Commissioner Edwards said there is no coverage in that area.

Mr. Steve Romines said there is no coverage southwest.

Commissioner Edwards said now we are sweeping this area and covering it up which is fine with me, but once you go to Newsoms and Boykins there is no coverage. He stated that he would really like to have Verizon get back with us and let us know what their future plans are for that area please.

Mr. Steve Romines said a lot of it is capital and a lot of times it is based many times on complaints they get from their customers. They look at the density and number of uses. They cover the major areas and population centers and now they are building out and it's a matter of capital investments. You are talking about the Boykins area is not covered.

Commissioner Edwards said it's the Newsoms and Boykins area.

Chairman Drake said he had a follow up question. He said if it is not too much trouble since we are talking about the coverage areas, and you have done a great job of showing where your towers are located here in the county, I'm not sure where the other towers are at, but would it be possible that we could see the entire county just for reference sake?

Mr. Steve Romines stated that this is only the Verizon coverage, but you may have other carriers in the area with other coverages. Competitors don't compare notes. They kind of know where things are, but they don't work together to work out the same network. But, we will try to get you a copy of all the towers in the county if that is what you want.

Chairman Drake said yes.

Mrs. Beth Lewis said and this gentleman is the county's consultant and he may have some information as well.

Chairman Drake asked if there were any other questions for Mr. Steve Romines. He stated that he thought he did a great job of explaining it.

Commissioner Chesson said he guessed just out of curiosity because he liked to learn as much as he can, the structure that you are talking about putting up is 199 feet, is it engineered such that if you felt like with the technology changes that if you needed to

increase the tower height by 50 feet is the structure strong enough that you could add another 50 feet to it?

Mr. Steve Romines said that he was not an expert on this lattice style here, but normally on a monopole sometimes you can add another section maybe resulting in more technology engineering upgrades. Normally these are ordered at a certain height and if they extend they do sometimes what we call a drop and swap. You may be able to extend some height, but I can tell you if you have a tower at 199' you wouldn't be able to extend it to 300' just because of the way it is built with the foundation you wouldn't be able to add that much height. He said Mr. Patterson do you know if we could do that.

Mr. Drew Patterson said no.

Mr. Steve Romines said that this issue was beyond his realm of knowledge.

Commissioner Chesson said the other thing is that you mentioned your license; you mentioned your FCC license requires Verizon to provide coverage to Southampton County. Is Verizon required to just put one antenna in the county to meet the requirements or how does the language of that read?

Mr. Steve Romines said what we are saying is that for the spectrum that they own they have a license for this area. So then the question becomes is the area served adequately and every area they have applied for license in they have won. I think that is the reason that we are rather busy because we are working on extending the network and every time we work on it the network improves. That is why sometimes it is customer complaint driven. We are definitely in compliance with the FCC license, but are we building them fast enough for the government people, but that is all related to what kind of feedback we get and the capital build plan.

Commissioner Chesson said so the key language in the provision you say would be appropriate?

Mr. Steve Romines said again that is an FCC regulatory issue, where you can get fined or license terminated because you haven't done something, but that is a completely different level but that is normally not an issue. He said he hadn't seen those issues arise at all. I do understand what you are saying you would like to see better coverage and more meticulous coverage extended across the county.

Commissioner Chesson asked if they had communicated with any other carriers to let them know, from a pro location standpoint, obviously you have consented from a county standpoint to allow co-locations. Have you communicated with any other carriers?

Mr. Steve Romines said the communication usually occurs after coming before the Board. Now, it can be that other carriers working at a particular location can be aware of what is going on and maybe get a letter of intent ahead of time, but normally they are not going to put the tower out there in service and then have to go out there and get the carriers. They have master arrangement agreements. Sometimes they are swapping locations. Typically the tower would be marketed to other carriers. Normally other

carriers would not come requesting to put up a tower near where there already is one. They would be seeking permission to use the tower already there.

Commissioner Chesson said one last question, you indicated that your 4G coverage which is a faster coverage has a three mile range, but he stated that he had heard five. Are you trying to do a grid of three miles out from the tower which I guess means that you have a tower every six miles apart if your goal is to try to provide 4G coverage to everybody in the county.

Mr. Steve Romines said if you look at the map up there you will see how they are spaced. It is also driven by topography, climate and weather sometimes. There are also obstacles, valleys, and hills, and foliage will affect distance and coverage. So that gives you an idea. We generally don't like to get in published warranties on distances as to what kind of coverage you can get. In this case this is really sort of to improve your data recovery reception. There are some bigger plans for the company going forward which will improve one certain type of technology in the future and we will have voice come over digital. So there are some things in the works as technology advances, we will rearrange and redirect how the technology is delivered. Again, I don't have all the details on it. It is safe to say that state of the art technology data is in usage. The data usage in this country right now is about 300 times what it was six to eight years ago. So it is just a huge demand. It certainly requires a lot more equipment, a lot more signal, and a lot more spectrum.

Mr. Drew Patterson, in the audience, stated that he would like to elaborate on that.

Mr. Steve Romines introduced Mr. Drew Patterson with Verizon.

Mr. Drew Patterson stated that he is the zoning manager for Verizon Wireless. He said just to touch on your question a bit, Verizon does have a definite plan and we won't cover it, but each jurisdiction that we go into has a ton of obstacles. In Southampton County you are limited to 199 feet according to the way the ordinance reads. What we can do on 4G is pretty mild with a 199 foot tower. If we went higher we could go a lot more than three miles. Where our vision has already said we would like to be is 300 foot and if we had a 300 foot tower of course your coverage is a lot more than what you currently see here. Some counties want shorter towers and that is fine we just have to build more of them to get the same coverage and some counties are okay with taller towers and they may be unsightly, but at the same time you get more coverage so we do have a plan it just changes every time we go into a different jurisdiction on how much coverage we can get, how many towers we can get.

Mr. Steve Romines said height by itself doesn't necessarily mean additional coverage. You can't just go higher and higher and get better coverage. At some point there is an optimum point, but in this case you would get better coverage if the tower was higher.

Chairman Drake asked if there were any more questions.

Commissioner Edwards stated that he would ask the question again since we had a Verizon man up here, he asked if there were any plans for any more towers in the southwest part of the county.

Mr. Drew Patterson said they have coverage maps, but right off he didn't know. He stated that he would have to take a look at them. He said he didn't know right off hand what the plan was for that part of the county.

Commissioner Edwards asked if he could check and get back with them on it tomorrow.

Mr. Drew Patterson said we certainly can.

Chairman Drake said we would appreciate that. He asked if there were any other questions at this time. He thanked the representatives from Verizon.

Chairman Drake stated that he did not know our consultants name; he needed to be introduced. He asked the consultant if he would come forward and state his name. He said I know you would like to make a couple of comments.

Mr. George Condyles, IV addressed the Board. He stated that he was President of Atlantic Technology. He stated that they had actually been our consultant for almost 15 years. He said they did the original design for the radio system for the Sheriff's Department and the Fire and Rescue and have been reviewing our applications for a long time. We haven't reviewed one in a while so it is good to be down here and to see you again. I remember some of you all from seven years ago. To address some of your questions about the overall application, we filled out the application with the information that was given. The technical information is excellent. We have reviewed this application and we feel that it should be advanced for the Board of Supervisors approval. Just to try to introduce you to some of the statements that the applicants made; Broadband is here. It is used by everyone from home based businesses to kids in school who need to download assignments, distance learning, medicine, agri-applications for which you have a huge agricultural community here, along with public safety. When you on your tractor or on your car, or whatever you are driving and you have a wreck or see a wreck you can get your cell phone and dial 911. So having excellent coverage in the county is paramount. As you know because you are here, there are basically five different carriers in the market place here with Verizon being one of the five. They are growing their network. He said when they received this application he was very happy to receive it because it really got away from the Highway 58/460 Corridor and kind of got into the middle of the county. He said he was going to try to do this and he will probably mess it up, but he tried to estimate like Johnny Carson used to do. He said I probably met you in where, was it Beale's?

Mr. Paige Pulley said yes.

Mr. George Condyles, IV said that is where the next application will probably come from. I could be wrong, but with what they are trying to do is they have the 58 corridor and the 460 corridor fairly well covered with 3G, but as they switch to 4G they have to rearrange their antennas and put some antennas up on some existing sites. In the process of doing that the ultimate goal is to be able to get into a structure like this building here. I just happen to be a Verizon customer and so I can look at my phone and actually I have excellent coverage here. I have five bars here. That is because there is a Verizon site right outside of Courtland. To answer your question sir about Boykins and Newsoms as

you go further south in the county Verizon has a tower about two and a half miles north of Boykins down the road on the left hand side before you go down into the Town of Boykins. So that is the closest tower there. That tower may not have been converted from a 3G to a 4G signal yet. They are going through the state of Virginia. We do what we do for you throughout the counties in Virginia so they are going systematically going through and changing out the antennas and building new sites. So this site here I think will definitely have merit for many different issues that the public may have here. They have the choice of Broadband and the other wireless carriers here in the county, as soon as this thing is approved and public record, will be like bees on honey; they will be there. That is just the way it works. So once this is approved it wouldn't shock me in a year or two after it is built there will be three or four others there. They have the same problem and that is center county coverage. We get out on Highway 460 in Ivor and Wakefield and they have a little different coverage because there are several more towers on what I call the picket line which is there on Highway 460. And Highway 58 as you are going west at Capron there are a few towers. I actually have a list of all the towers in the county and I will get the list to Mrs. Beth Lewis. What you may want to consider though, and we do this for counties, is to develop a master plan where potential new towers would go, not in exact spots, but regions kind of like you plan sort of like you plan for water and sewer, and that type of thing. You can also go to the FCC website and there is a query tool you can use and actually find out which towers are registered with the FCC. This will be a lattice tower. They are basically manufactured in sections and they are twenty feet sections basically. This tower is going to be purchased like a 190' tower and then it will have two or three more sections that it could go up if in fact the applicant would want to come back and ask permission for a conditional use permit. So, when they build the foundations for these they are actually over designed for like a 250'. So, any tower owner would say I'll just buy the first 190 feet and then I will buy the other additions as I need to add to it. That is known as reverse stacking. Obviously, you keep adding to the height. This is an excellent design here especially for a lattice tower. As you know more than I do you are in a hurricane alley here so we have three legged towers. So the Egyptians did a neat thing when they designed the triangle because three legged towers will withstand a lot more wind than a monopole tower because sometimes they will snap off at the bottom. He stated that he was a real fan down in this part of Virginia and the Carolinas with having three legged lattice towers. As far as FCC coverage, when a wireless carrier gets a license they will get it for a geographic area and that is called a BTA or a basic training area. Typically that is like a city and maybe four, five, or six counties. So, they have obligations to get coverage at certain points in time as far as geographic coverage and also population coverage. So, that is why cities are built out first and urban areas and then us poor county people have to wait until they get them built so to speak. So, they are coming now and that is all good. Verizon will do an excellent job with this application as far as construction and maintaining it. Verizon has the best towers in Franklin of all the carriers I have seen and I see a lot of towers. He asked if there were any other questions that they might have.

Commissioner Edwards asked if the county ordinance was changed from 199 feet to 250 feet how many of these towers would be eliminated.

Mr. George Condyles said you wouldn't eliminate, the ones that are there are there, but I would say a good seventy-five to eighty percent could go up another section or two if they are at 199 feet.

Chairman Drake said then you go into the issue of lighting.

Mr. George Condyles said right as soon as you cross the threshold of 200 feet and/or are in relationship to an airport, and you have one down at Franklin and you have got one at Wakefield. The applicant will do an air space study and send it to the FAA and they will kind of run it through their numbers and they will make a determination. In this case it is below 200 feet and there is something called a tow air report where you go online and plug in the latitude and longitude, hit go and you get an answer right there. So, when you get over that 200 foot threshold and with the relationship around airports, hospitals, and all those type things the equation changed a little bit.

Chairman Drake said he had one other question and then he would let him go. He said you mentioned that a space would be provided for the county if it was needed. Do I understand that correctly? It's for public service.

Mr. George Condyles said typically you have a good radio system so unless you were going to add something special to it.

Chairman Drake said that provision will be written into it the agreement.

Mr. George Condyles said Verizon is very good about that. You have a nice digital trunk system.

Chairman Drake said well that just depends on who is telling you that.

Mr. George Condyles said well that is true.

Chairman Drake said it is an expensive system, but it could be tweaked a little bit more.

Mr. George Condyles said possibly yes.

Chairman Drake said he had his issues with that new system, but it is working. We have the good repeater and all, but it still has a lot of static in it and it's just hard to make out what the dispatchers are saying.

Mr. George Condyles stated that most of the static was because you have a high water table.

Chairman Drake said alright you answered my question. He stated that he didn't mean to cut Commissioner Randall off.

Commissioner Randall said you answered my question. I was just going to ask a more specific question about public safety. When we approve it, obviously Verizon is cooperating with public safety to improve our system. Is that an automatic or is that kind of just a good will issue?

Mrs. Beth Lewis stated that is was one of the conditions.

Chairman Drake said yes that is one of the conditions.

Commissioner Randall said he read the thing and the lawyer in him didn't like the wording of it.

Chairman Drake said it was fuzzy.

Commissioner Randall said it was very, very fuzzy.

Mr. George Condyles said if you are a lawyer you understand something called the Dillon Rule and we have to be very careful with the Dillon Rule.

Commissioner Randall said so thank you for answering that question.

Commissioner Edwards said he had one more question. He asked on the existing Verizon tower how many co-locators do we have on those towers now? Does anybody know?

Mr. George Condyles said he couldn't tell that. He said he could show where they all are, but in developing like a master plan that we were talking about earlier, that would be the human working we would have to do to list what tower has AT&T coverage and what tower has Verizon coverage and Sprint and that type of thing.

Mr. Drew Patterson said excuse me, he stated that Verizon probably has a line share coverage of all the carriers in the county here. I'll bet a tin of peanuts from the Virginia diner that we probably have the best coverage.

Mrs. Beth Lewis stated that in the past year and a half there have probably been fifteen to eighteen applications submitted to the county for antenna upgrades at the various towers throughout the county. She stated that the latest have been in the Ivor and Courtland area and the Smith Ferry Road area so that's the southeast area of the county. I can't recall where there has been a request for an upgrade in the southwest area of the county, but there are times when our office has request for three or four in at a time waiting for review. So, there have been a lot of upgrades in the last nine or ten years.

Mr. George Condyles said what makes the cell phone coverage of all the carriers so important is that it is part of your dispatch system. When someone dials 911 on their cell phone it hits the tower and it goes through a whole bunch of stuff that I won't tell you about, but it ends up on a map in your dispatch center with a little dot and that is where that call was originated from. It is all driven by the GPS and what is called Annie Alley Data and stuff like that. What you are seeing or will be seeing especially if you have teenage children or grandchildren or whatever this thing called a phone that plugs into a wall is like some foreign object to them. They eat, sleep, and breathe and this cell phone is never more than an arm's length from them. So everything with this younger generation is mobile devices from the iPads to everything. You are going to see the local telephone company be taking out more and more lines to homes because this is going up. All the wireless carriers have the family plan. I have two grown daughters and thank goodness they are off my payroll, but they are still on my family plan with my cell

phone and one is in Alaska and the other one is up in Washington, D.C. It is just a thing that we all have and will have.

Chairman Drake said he had a comment. He stated that was a good point, but he lives down in the Newsoms area and depending on what area you are located as to what type of signal you receive.

Mr. George Condyles said you are in the Fire Department down there aren't you?

Chairman Drake said I am; that is correct.

Mr. George Condyles said I remember you.

Chairman Drake said we are seeing that the landline underground cable has had a lot more deterioration over the last few years. There are a lot more issues especially after a rain period they are just going out. Now, I admit the guy comes out in due diligence and repairs it, but it is getting much more frequent. It used to be that we hardly ever had any trouble with the land. So, I think our issue for asking these other questions is not really dealing with this particular tower. In the future as the underground cables continue to deteriorate and we are stretching these single lines across the shoulders of the road and under the culvert pipes, or whatever it takes to keep us going, you know, will we have good service with the telephone as that system deteriorates.

Mr. George Condyles said that land line network seesaws and goes down what our power of control is that the other service comes up.

Chairman Drake said alright.

Mr. George Condyles said the reality of it is to have what we call one circuit, a voice or data circuit, to come to the cell phone is ten times cheaper than it is for the same landline circuit in Broadband. So, that shows you that if I'm an investor or I'm a company owner like Verizon or Sprint, because there is Sprint wireless, Verizon wireless, and AT&T wireless I'm going to start putting my capital on the wireless side and get out of the copper business as much as I can.

Chairman Drake said I know we have drifted a little bit, but I think some of us have been educated.

Commissioner Chesson said he had one quick question. He said we have talked about cell coverage he said he had a question about data coverage that is one reason he is asking about 4G because it is a faster data coverage if you have internet access, so from a tower standpoint I kind of had the question and this goes back a year or so ago, but we had this company that came out in the newspaper that said we are Buggs Island Telephone Company we have been given some federal grant money and we are going to put wireless internet into your county. And it sounded great, but then we haven't heard much from them lately. And I don't know that we will. I guess that is one thing I was asking if they have done their study and they said the best location for a tower would be right in the Town of Berlin rather than over here, should we try to relocate or try to encourage this tower to relocate.

Mr. George Condyles said you want to encourage as much from the towers as you can. It's different from what Buggs Island is doing. There are different technologies. There is what is called point mobile point and spread spectrum which is like what they are doing. These are coming through mobile radio and it is mobile technology and it's kind of a different technology from that. You can go to a website of Virginia Broadband.gov and you can see that project that Buggs Island Telephone out at Clarkesville, but I don't think they are going to be stretching this far unless there is some tobacco settlement money that is coming this way that we do not know about. In Southern Virginia, Southampton, Sussex, Greensville County, and that area there is really underserved with what is call facility and plant. So if you have those projects come up and people want to advance those please, my advice is cooperate and get all the information that you can, and get some kind of technology nerd like me involved so I can translate for you. But, in this case I think this is an excellent tower and I think it is going to serve the county well. I really do. What they are doing I hope it does come on, I'm not trying to be negative. But, I have a farm out in Franklin County, Virginia and there is a Verizon Tower that is nearby that was just built and I don't even have Broadband, But I have what is called a mobile hotspot and I can bring and it and sit it on my table and it works my laptop and everything. It is about the same size as my cell phone. It is just a small device and you plug it into electricity if you need to, but the battery will last about eight hours on its own.

Chairman Drake asked if there were any other questions.

Mr. George Condyles said he was a fan of education and distance learning and that is the key. It's good that all of the young people have these opportunities because all of us old people never had. But, the educational aspect of this is really phenomenal.

Chairman Drake thanked Mr. George Condyles. He asked if there was anyone else wishing to speak.

Mr. Glenn Updike addressed the Commission. He stated that he was from the back woods with no communication period. I listened to you and I enjoyed it. I appreciate it. It is the best thing I have heard in a long time. So be sure to approve it. I think we need to look at the ordinance and let them go that extra twenty to fifty feet, or whatever it takes to get us some broader coverage. I had rather have another 50 feet on the tower and get some coverage than have it 200 feet and get nothing and that is what we are getting, nothing. The only thing you get is the old land telephone and half the time that doesn't work. I have talked to people for a few minutes and then the phone cuts off. I've had it ring and then it cuts off. It is not serving the Newsoms area, Sands, Statesville, and Sunbeam area at all. So if it requires a change in the ordinance to go higher I would rather have one big one than to have nothing. I want some service before I die. So please look at what we can do to allow us to get the most benefit from what we have.

Chairman Drake thanked Mr. Glenn Updike. He asked if there was anyone else wishing to speak.

Mr. Paige Pulley of 33141 Millfield Road addressed the Board. He stated that the proposed cell tower site is located on his property. He said he thought it would be an asset to the citizens in the county and the surrounding area. He said Verizon had been

very nice to work with concerning this issue. He stated that they first came to him and wanted to put the tower close to Millfield Road and I didn't think that was a good location and I showed them the site that is proposed for you tonight and they were very agreeable to move that. So, I think they have been very easy to work with. He stated that they had been very pleasant to him and he hoped that they would approve this proposal. Thank you for your time.

Chairman Drake thanked Mr. Paige Pulley. He asked if there was anyone else wishing to speak.

Commissioner Edwards said it may be a good point to look at this, he said thought he had rather have a 250 foot tower and have ten of them than to have twenty-five 199 foot towers. That might be something that we might want to look at in the county ordinance. He said he would like to have Verizon or whoever was going to put these towers in to give us some stats on how many towers that would cut out or what percentage and how that would improve the coverage.

Chairman Drake asked if there was anyone else from the audience wishing to speak. There being no one else to speak Chairman Drake closed the public hearing.

Chairman Drake asked the Board if there was any more discussion on this.

Commissioner Randall said he thought we should motion that we approve the application.

Chairman Drake asked if he was making that a motion.

**Commissioner Randall made a motion that we approve the application.**

Commissioner Edwards said before we do that I think we need to look at the conditions. Look in the back of the packet. There are twelve conditions there. He asked Mrs. Beth Lewis if they were all pretty much in order.

Mrs. Beth Lewis said yes. These are the typical conditions that the zoning ordinance requires. There is also a condition in there that when the tower is no longer in use they will remove it. What we typically do is require a bond and we get a statement from their engineers as to how much it would take to remove that tower when it is no longer in use. Then they post a bond for that amount.

Commissioner Edwards said he thought in the past the bond has been around \$30,000.

Mrs. Beth Lewis said the last one that she saw she thought was around \$50,000.

Commissioner Edwards said \$50,000.

Mrs. Beth Lewis said yes.

Chairman Drake said does that answer your question.

Commissioner Edwards said yes.

Mrs. Beth Lewis said it depends on the type of structure as to how much it would cost to remove that.

Commissioner Edwards asked if we need to put a price tag on that.

Mrs. Beth Lewis said no. Our review process requires that their engineers submit an estimate to us as to how much it will cost to remove it then. That is what we will require for the bond.

Chairman Drake asked Commissioner Edwards if that satisfied him.

Commissioner Edwards said yes.

**Chairman Drake said we have a motion on the floor. He asked if he could get a second.**

**Commissioner Chesson seconded the motion.**

Mr. Richard Railey asked if the motion was that they would grant the conditional use permit with the conditions as set out.

Commissioner Randall said yes.

Mr. Richard Railey said he just wanted to clarify that.

**Chairman Drake said we have a motion to accept the request and a proper second. He asked if there was any other discussion. If not, he said he was calling for the vote. The motion carried unanimously. He stated that the representatives from Verizon were welcome to stay, but if they would like to depart at this time you are welcome to do so. Thank you all for being here tonight.**

Mrs. Beth Lewis stated that this would go to the Board of Supervisors at the November meeting which will be the fourth Monday in November.



Southampton County  
Post Office Box 400  
Courtland, Virginia 23837  
757-653-3015

**APPLICATION FOR:**

**REZONING**

**COMPREHENSIVE PLAN AMENDMENT**

**CONDITIONAL USE PERMIT**

**CONTACT INFORMATION**

Applicant or Representative Name: **Drew Patterson (for Verizon Wireless)**

Address: **1831 Rady Court**

City, State, Zip: **Richmond, VA 23222**

Phone: Mobile: **804-363-0891**

Owner Name: **Paige Pulley**

Address: **33141 Millfield Road**

City, State, Zip: **Ivor, VA 23866**

Phone: Day **N/A** Evening **N/A** Mobile **N/A**

**PROPERTY INFORMATION**

Address or Location: **32168 Millfield Road**

Tax Parcel Number: **23 14**

Total Acreage of Parcel: **60**

Amount of above acreage to be considered: **10,000 sq.ft. lease area with associated access easement**

Current Use of property: **Agriculture**

Rezoning request from **N/A**

Comprehensive Plan request from **N/A**

Conditional Use request: **Section 18-427, Wireless telecommunication facility regulations** of the Southampton County Code

Give a brief description of the application request (attach additional sheets if necessary):

**Verizon Wireless is proposing to construct a 199' self-support tower (and associated equipment) on a 60 acre A-1, Agricultural zoned parcel. The tower will serve to provide enhanced service in the Pulleys Crossroads area.**

Required Items to be submitted with application:

Application Form

Application Fee of \$1,000

Cover Letter

Site Plan / Exhibit

Proffer Statement (if applicable)

Other (To be determined by agent)

**Note:** If applicant is anyone other than the fee simple owner, written authorization of the fee simple owner designating the applicant as the authorized agent for all matters concerning this application shall be filed with the agent. A Special Limited Power of Attorney form is available upon request. **Please see attached lease between Verizon Wireless and the Property Owner.**

The undersigned  Owner  Applicant authorizes the entry of Southampton County personnel onto the property in order to perform their duties with regard to this request.

\_\_\_\_\_  
Date                      Si                      gnature                      Si                      gnature

**OFFICE USE ONLY**

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Received By: \_\_\_\_\_

Date: \_\_\_\_\_

Post Sign By: \_\_\_\_\_

PC Agenda Date: \_\_\_\_\_

BOS Agenda Date: \_\_\_\_\_

**PROFFERS FOR CONDITIONAL REZONING**

\_\_\_\_\_ Original

\_\_\_\_\_ Amended

Pursuant to Section 18-546 (b) of the Southampton County Code, the owner or duly authorized agent hereby voluntarily proffers the following conditions which shall be applicable to the property, if rezoned:

I (we) hereby proffer that the development of the subject property of this application shall be in strict accordance with the conditions set forth in this submission:

\_\_\_\_\_  
Signature of Owner/Applicant \*

\_\_\_\_\_  
Date

**\* If applicant is someone other than the owner, a Special Limited Power of Attorney Form must be submitted with this application.**

**NEW VERIZON WIRELESS TELECOMMUNICATIONS FACILITY  
199' SELF-SUPPORT TOWER  
"BERLIN" – PULLEY PROPERTY  
07/24/13**

**Project Description:**

Cellco Partnership d/b/a Verizon Wireless (hereafter "VZW") respectfully requests approval of a conditional use permit pursuant to County Code Sections 18-37(40), Permitted (Agricultural) Uses and 18-427, Wireless Telecommunication Facility Regulations, to allow the installation of a 199' self-support tower on a 60 acre parcel of land, zoned A-1, Agricultural and located at 32168 Millfield Road (State Route 605). The subject property is identified as Tax Map parcel #23-14 (hereafter "the property").

The proposed tower will be contained within a 10,000 s.f. lease area (7,225 s.f. fenced area) located in the southeast corner of the property. The site is located at an elevation of 68 feet Above Mean Sea Level (AMSL) and will include a galvanized steel self-support tower with a top height of 199' Above Ground Level (AGL). The tower will be fitted with one antenna array with twelve panel antennas and a 4 foot lightning rod. A 192 s.f. equipment shelter, an emergency generator with an associated 32 s.f. concrete pad, and a six (6) foot chain-link fence enclosure will be installed at the base of the monopole. Per Section 18-427(f)(5)(a) of the Wireless Telecommunication Facility Regulations, a landscaped screen will be installed around the north, east and west sides of the fenced area as required. Existing trees will be preserved on the south side of the fenced area and will serve as a buffer and screen.

**Site Selection:**

VZW's goal is to provide high quality, seamless coverage with as few new communication towers as possible. The company first looks to existing communication towers or other existing support structures upon which to collocate its antennas. In this case, there were no existing tower locations or support structures in the needed search area; therefore, VZW has chosen a new tower site that is not only crucial to provide improved wireless service to surrounding citizens (in-car and in-building coverage) but it is also a site that will have limited visibility for the following reasons:

- The site is in the rear of an agricultural field that is wooded to the east, south and west. The entire facility could have potentially been placed within the existing treeline; however, VZW chose to preserve existing trees in accordance with Section 18-427 (f)(5)(b), of the Zoning Ordinance, "existing mature tree growth on site shall be preserved to the maximum extent possible".
- The site will be approximately 2,400 feet from Millfield Road, which is to the north.
- The adjacent parcels to the east and west are also owned by the owner of the subject property and the lessee, Paige Pulley.
- There are no off-site residences within ½ mile of the proposed site.

**Section 18-427 (f); General standards (Applicable sections only):**

*(1) Antenna support structure shall not exceed 199' above ground level (AGL) in the Agricultural District*

The tower will be 199' AGL to the top of the lightning rod.

(2) *The following setback requirements shall apply:*

a. *All antenna support structures must be setback two hundred (200) percent of the height of the structure from the nearest residential structure, and in no case less than four hundred (400) feet.*

The proposed tower is 199 feet; therefore, 200% of the height of the tower is 398 feet. The facility will be over 2,000 feet from the nearest residential structure.

b. *All antenna support structures shall be setback one hundred ten (110) percent of the height of the structure from all property lines.*

The proposed tower is 199 feet; therefore, 110% of the tower height is 219 feet. The tower will be over 250 feet from the closest property two lines (i.e. rear and right side property lines).

c. *All wireless telecommunication facilities must satisfy the minimum zoning district setback requirements for primary structures.*

The tower will far exceed all minimum zoning district setback requirements.

(3) *Speculative structures are not permitted.*

This is not a speculative structure. VZW will construct an antenna array on the tower.

(4) *All antenna support structures shall be enclosed by security fencing not less than six (6) feet in height, equipped with an appropriate anti-climbing device.*

The facility will be enclosed with a 6 foot chain-link fence. At the top of the fence will be 3 strands of barbed wire that will serve as an anti-climbing device.

(5) *The following requirements shall govern the landscaping surrounding wireless telecommunication facilities:*

a. *Any combination of landscaped vegetative buffers, landscaped earthen berms or preservation of existing vegetation shall be provided around the perimeter of the site of any wireless telecommunication facility to effectively screen the view of the equipment compound from adjacent parcels. The standard buffer shall consist of a mix of native trees and shrubs planted in a landscaped area at least fifteen (15) feet wide outside the perimeter of the compound.*

Per Sheet L-1 of the attached drawings, VZW is proposing a landscaped buffer (i.e. screen) around the north, east and west sides of the fenced compound. The buffer will be a mix of oak, pine and bayberry. To the south are existing trees that will be preserved for use as a buffer.

b. *Existing mature tree growth and natural landforms on the site shall be preserved to the maximum extent possible. In some cases the Board of Supervisors may determine that the natural growth around the perimeter may be a sufficient buffer and waive the landscape requirements.*

No trees will be removed as a result of this request. The access road and the fenced compound will be located within the existing agricultural field.

*c. All trees shall be preserved and protected during construction of wireless telecommunication facilities except where clearing is required to accommodate the proposed facilities and vehicular access.*

No trees will be removed as a result of this request. The access road and the fenced compound will be located within the existing agricultural field.

*d. The wireless telecommunication facility owner is responsible for maintaining all landscape plant material in a healthy condition. Dead plants shall be removed and replaced in-kind.*

VZW will maintain all landscape plant material.

*(6) The treatment, color and lighting system for wireless telecommunication facilities shall be as follows:*

*a. Antenna support structures shall either maintain a galvanized steel finish, or subject to any applicable standards of the FAA be painted a neutral color so as to reduce visual obtrusiveness. Antennas shall be a neutral, non-reflective color with no logos.*

The tower will have a galvanized steel finish and the antennas will be a neutral, non-reflective color with no logos.

*b. The design of the buildings and related structures shall to the extent possible use materials, colors, textures and screening that will blend the wireless telecommunication facility with the natural setting and the built environment.*

The shelter will have an aggregate stone finish. Existing trees will screen the southern side of the facility and a landscaped buffer will be installed to screen the north, east and west sides of the facility.

*c. Antenna support structures shall not be artificially lighted unless required by the FAA or other applicable authority. If lighting is required, the Board of Supervisors may review the lighting alternatives and approve the design in accordance with applicable requirements that would cause the least disturbance to the surrounding views.*

Lighting will only be installed if required by FCC regulations.

*(7) Commercial advertising is not permitted on any component of the wireless telecommunication facility.*

There will be no commercial advertising on any component of the wireless facility.

*(8) Wireless telecommunication facilities shall be designed and installed so as not to interfere with the county's public safety radio system or public safety radio systems operated in other jurisdictions. Any entity operating wireless facilities determined to interfere with the county's or another jurisdiction's public safety radio system shall take corrective action immediately upon notification.*

The facility will be designed and installed so as to not interfere with the County's public safety radio system or public safety radio systems operated in other jurisdictions.

*(9) All wireless telecommunication facilities must meet or exceed current standards and regulations of the FAA, the FCC and any other agency of the federal government with the authority to regulate their operation. If such standards and regulations are changed, then the owners of the facilities shall bring such facilities into compliance with such revised standards and regulations as required by law. Failure to comply shall constitute grounds for the removal of the facility at the owner's expense.*

The facility will meet or exceed current standards and regulations of the FAA, the FCC and any other agency of the federal government with the authority to regulate their operation. Attached you will find a FCC Safety Compliance Analysis prepared by a Certified Radio Frequency Engineer.

*(10) At such time that any component of the wireless telecommunication facility ceases to be operated for a continuous period of twelve (12) months, it shall be considered abandoned, and the owner of such facility shall remove same within ninety (90) days of receipt of notice from the department of planning of the removal requirement. The applicant shall post a bond equivalent to the cost of removal of the antenna support structure with the director of planning prior to issuance of a permit.*

At such time that any component of the wireless telecommunication facility ceases to be operated for a continuous period of twelve (12) months, it shall be considered abandoned and removed within ninety (90) days of receipt of notice from the department of planning.

*(11) The owner of each antenna support structure shall have a safety inspection conducted annually by a registered professional engineer licensed by the Commonwealth of Virginia. A copy of the inspection report shall be filed annually in March with the department of planning. The report shall state the current user status of the antenna and/or support structure and the overall condition of the facility in accordance with the latest revision of ANSI EIA/TIA-222.*

The owner of each antenna support structure shall have a safety inspection conducted annually by a registered professional engineer licensed by the Commonwealth of Virginia.

### **Summary**

In summary, VZW requests approval of a conditional use permit for a 199 foot self-support tower in the described location in order to provide improved wireless services to this area of Southampton County. The proposed site location and design have been carefully selected in order to provide the best possible service with the least visual impact on neighboring properties and roadways. The proposed use would not be of substantial detriment to adjacent properties, would not change the character of the district, and would be in harmony with the purpose, intent, and regulations of the County Zoning Ordinance and with the uses permitted by right in the Agricultural District. Furthermore, the proposed VZW facility would promote the public health, safety and general welfare by improving wireless communications, including emergency call capacity, in this area of the County.



1831 RADY COURT  
 RICHMOND, VA 23222

**BERLIN  
 ZONING DRAWINGS  
 SITE ADDRESS**

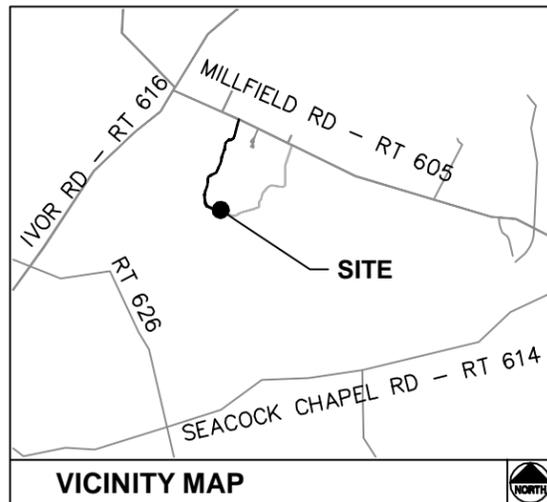
32168 MILLFIELD ROAD  
 IVOR, VA 23866  
 SOUTHAMPTON COUNTY  
 LATITUDE: 36° 51' 42.12" N  
 LONGITUDE: 76° 57' 35.07" W  
 ZONING: A-1, AGRICULTURAL DISTRICT  
 GROUND ELEVATION = 68.0 ± AMSL  
 PARCEL #: 23-14

**SOUTHAMPTON COUNTY SHERIFF'S OFFICE**  
 22336 MAIN STREET  
 COURTLAND, VA 23837  
 PHONE: (757) 653-2100

**IVOR RESCUE SQUAD**  
 35476 GENERAL MAHONE BLVD  
 IVOR, VA 23866  
 PHONE: (757) 859-6611

**IVOR VOLUNTEER FIRE DEPARTMENT**  
 8295 MAIN STREET  
 IVOR, VA 23866  
 PHONE: (757) 859-6400  
**EMERGENCY PHONE: 911**

**EMERGENCY CONTACT**



**VICINITY MAP**

FROM RICHMOND MTSO TAKE INTERSTATE 64 WEST TO INTERSTATE 95. TAKE INTERSTATE 95 HEADING SOUTH TO ROUTE 460 EAST (EXIT 50). DRIVE ± 34.4 MILES AND TURN RIGHT ONTO ROUTE 616 (IVOR ROAD) AT THE TOWN OF IVOR. DRIVE ± 5 MILES AND TURN LEFT ONTO MILLFIELD ROAD. SITE ACCESS IS THE FIRST DIRT ENTRANCE ON YOUR RIGHT.

**DRIVING DIRECTIONS**

**MUNICIPALITY:**  
 SOUTHAMPTON COUNTY

**STATE:**  
 VIRGINIA

**TOWER TYPE:**  
 PROPOSED SELF SUPPORT TOWER

**PROPOSED TOWER HEIGHT:**  
 194' AGL WITH 5' LIGHTNING ROD  
 TOTAL TOWER HEIGHT = 199' AGL

**NUMBER OF PROPOSED CARRIERS:**  
 1 PROPOSED, 4 FUTURE

**USE:**  
 PROPOSED TELECOMMUNICATIONS TOWER AND UNMANNED EQUIPMENT SHELTER

**CONSULTANT**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 1700 WILLOW LAWN DRIVE, SUITE 200  
 RICHMOND, VIRGINIA 23230  
 PHONE: (804) 673-3882  
 ATTN.: BRIAN BREWER

**PROJECT SUMMARY**

**DEVELOPER**  
 VERIZON WIRELESS  
 1831 RADY COURT  
 RICHMOND, VA 23222  
 PHONE: (804) 779-2996  
 ATTN.: PETER MEYERS

**POWER COMPANY**  
 DOMINION VIRGINIA POWER  
 PHONE: (866) 366-4357  
 ATTN.: CUSTOMER SERVICE

**TELEPHONE COMPANY**  
 VERIZON  
 PHONE: (877) 798-2941  
 ATTN.: CUSTOMER SERVICE

**PROPERTY OWNER**  
 PAIGE PULLEY  
 33141 MILLFIELD ROAD  
 IVOR, VA 23866

**LEASING AGENT**  
 NB&C  
 PHONE: (804) 928-0154  
 ATTN.: SEAN BAMMAN

**CONTACTS**

REAL ESTATE	DATE
ZONING	DATE
RF	DATE
CONSTRUCTION	DATE
PROPERTY OWNER	DATE
TOWER OWNER	DATE
<b>APPROVALS</b>	

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	0
-	SURVEY 1 OF 3	0
-	SURVEY 2 OF 3	0
-	SURVEY 3 OF 3	0
C1	OVERALL SITE PLAN	0
C2	SITE PLAN	0
C3	SHELTER ELEVATIONS	0
C4	SHELTER FOUNDATION DETAILS 1 OF 2	0
C5	SHELTER FOUNDATION DETAILS 2 OF 2	0
C6	WAVEGUIDE BRIDGE & MISC. DETAILS	0
C7	TOWER ELEVATION	0
C8	COMPOUND DETAILS	0
C9	SIGNAGE DETAILS	0
L1	LANDSCAPE PLAN	0

**SHEET INDEX**

**SOUTHAMPTON COUNTY ZONING**  
 SOUTHAMPTON COUNTY PLANNING DEPARTMENT  
 26022 ADMINISTRATION CENTER DRIVE  
 PO BOX 400  
 COURTLAND, VA 23837  
 PHONE: (757) 653-3011

**PERMIT INFORMATION**

**VERIZON WIRELESS**  
 1831 RADY COURT  
 RICHMOND, VA 23222

**PROJECT INFORMATION:**

**VERIZON NAME: BERLIN  
 RAW LAND**

32168 MILLFIELD ROAD  
 IVOR, VIRGINIA 23866  
 SOUTHAMPTON COUNTY

**CURRENT ISSUE DATE:**

JUNE 2013

**ISSUED FOR:**

ZONING

**REV.: DATE: ISSUED FOR: BY:**

0	06/26/13	ZONING	
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**CONSULTANT:**

Kimley-Horn  
 and Associates, Inc.  
 1700 Willow Lawn Dr. Suite 200  
 Richmond, VA 23230

**CONSULTANT:**

**DRAWN BY: CHK.: APV.:**

KRB BJB BJB

**LICENSER:**



**SHEET TITLE:**

**COVER SHEET**

**SHEET NUMBER: REVISION:**

**T1 0**  
 113055056

Drawing name: K:\PAC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg - Berlin\_Zoning\_Dwg - COVER SHEET Jun 26, 2013 6:18pm by brian.brewer

NAD 83

EDGAR V. STEPHENSON JR. &  
ELLEN H. STEPHENSON  
W.B. 316 PG. 605  
TAX PARCEL 22-42

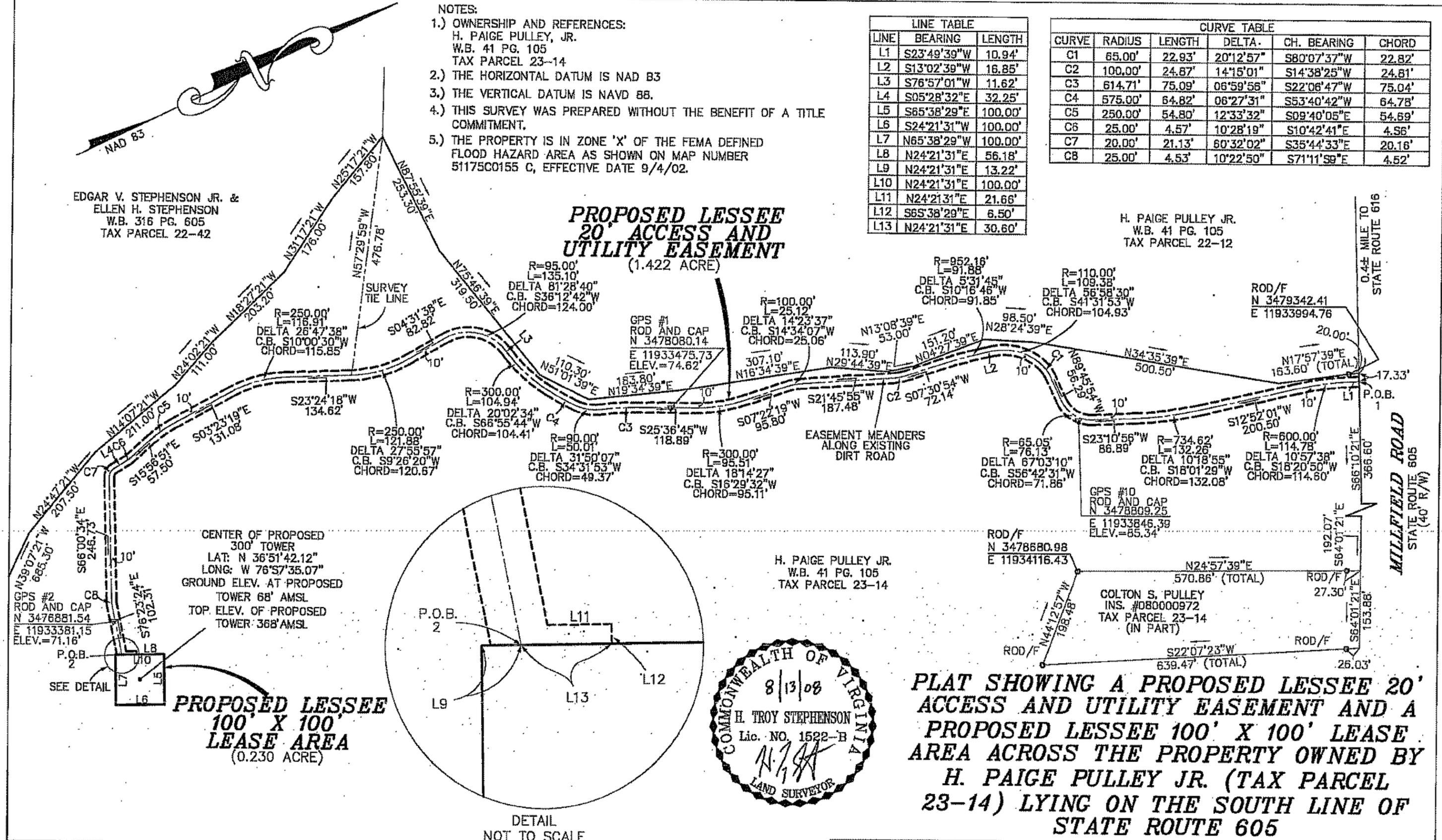
- NOTES:
- 1.) OWNERSHIP AND REFERENCES:  
H. PAIGE PULLEY, JR.  
W.B. 41 PG. 105  
TAX PARCEL 23-14
  - 2.) THE HORIZONTAL DATUM IS NAD 83
  - 3.) THE VERTICAL DATUM IS NAVD 88.
  - 4.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
  - 5.) THE PROPERTY IS IN ZONE 'X' OF THE FEMA DEFINED FLOOD HAZARD AREA AS SHOWN ON MAP NUMBER 51175C0155 C, EFFECTIVE DATE 9/4/02.

LINE	BEARING	LENGTH
L1	S23°49'39"W	10.94'
L2	S13°02'39"W	16.85'
L3	S76°57'01"W	11.62'
L4	S05°28'32"E	32.25'
L5	S85°38'29"E	100.00'
L6	S24°21'31"W	100.00'
L7	N65°38'29"W	100.00'
L8	N24°21'31"E	56.18'
L9	N24°21'31"E	13.22'
L10	N24°21'31"E	100.00'
L11	N24°21'31"E	21.66'
L12	S65°38'29"E	6.50'
L13	N24°21'31"E	30.60'

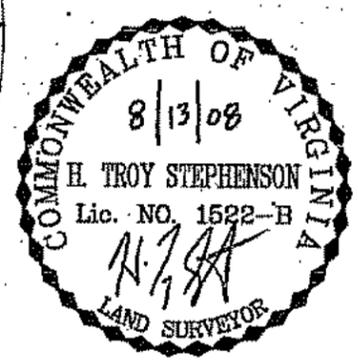
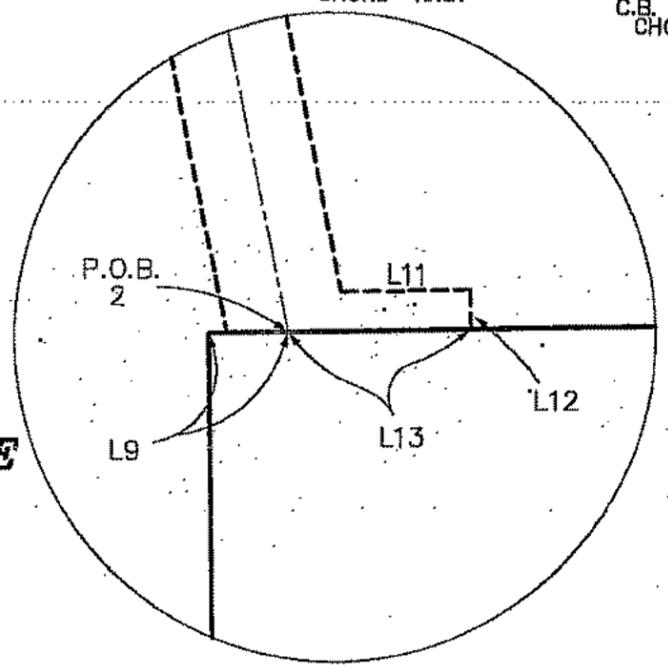
CURVE	RADIUS	LENGTH	DELTA	CH. BEARING	CHORD
C1	65.00'	22.93'	20°12'57"	S80°07'37"W	22.82'
C2	100.00'	24.87'	14°15'01"	S14°38'25"W	24.81'
C3	614.71'	75.09'	06°59'56"	S22°06'47"W	75.04'
C4	575.00'	64.82'	06°27'31"	S53°40'42"W	64.78'
C5	250.00'	54.80'	12°33'32"	S09°40'05"E	54.69'
C6	25.00'	4.57'	10°28'19"	S10°42'41"E	4.56'
C7	20.00'	21.13'	60°32'02"	S35°44'33"E	20.16'
C8	25.00'	4.53'	10°22'50"	S71°11'59"E	4.52'

**PROPOSED LESSEE  
20' ACCESS AND  
UTILITY EASEMENT  
(1.422 ACRE)**

H. PAIGE PULLEY JR.  
W.B. 41 PG. 105  
TAX PARCEL 22-12



**PROPOSED LESSEE  
100' X 100'  
LEASE AREA  
(0.230 ACRE)**



H. PAIGE PULLEY JR.  
W.B. 41 PG. 105  
TAX PARCEL 23-14

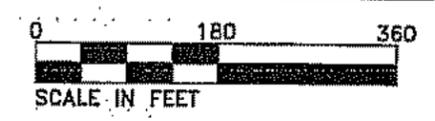
**PLAT SHOWING A PROPOSED LESSEE 20'  
ACCESS AND UTILITY EASEMENT AND A  
PROPOSED LESSEE 100' X 100' LEASE  
AREA ACROSS THE PROPERTY OWNED BY  
H. PAIGE PULLEY JR. (TAX PARCEL  
23-14) LYING ON THE SOUTH LINE OF  
STATE ROUTE 605**

BERLIN-IVOR DISTRICT \* SOUTHAMPTON COUNTY, VIRGINIA

**JENNING STEPHENSON, P.C.**  
10160 STAPLES MILL ROAD  
SUITE 103  
GLEN ALLEN, VA 23060  
PHONE - 804-545-6235  
FAX - 804-545-6259

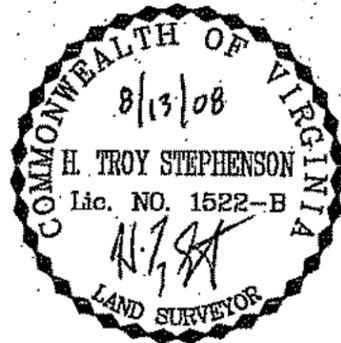
LAND SURVEYORS & PLANNERS

DATE: AUGUST 13, 2008	SCALE: 1" = 180'
DRAWN BY: NH	CHECK BY: DL



**LEGAL DESCRIPTION (100' X 100' LICENSE AREA)**

BEGINNING AT A POINT ON THE SOUTH LINE OF STATE ROUTE 605 (MILLFIELD ROAD); SAID POINT BEING .4± MILE EAST OF STATE ROUTE 616 (MARKED P.O.B. 1); THENCE LEAVING SAID SOUTH LINE OF STATE ROUTE 605 (MILLFIELD ROAD) ALONG THE CENTERLINE OF THE LESSEE 20' ACCESS AND UTILITY EASEMENT S23°49'39"W, 10.94' TO A POINT, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 600.00', A LENGTH OF 114.78', A CHORD BEARING S18°20'50"W, AND A CHORD OF 114.60' TO A POINT; THENCE S12°52'01"W, 200.50' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 734.62', A LENGTH OF 132.26', A CHORD BEARING S18°01'29"W, AND A CHORD OF 132.08' TO A POINT; THENCE S23°10'56"W, 86.89' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 65.05', A LENGTH OF 76.13', A CHORD BEARING S56°42'31"W, AND A CHORD OF 71.86' TO A POINT; THENCE N89°45'54"W, 56.29' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 65.00', A LENGTH OF 22.93', A CHORD BEARING S 80°07'37" W, AND A CHORD OF 22.82' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 110.00', A LENGTH OF 109.38', A CHORD BEARING S41°31'53"W, AND A CHORD OF 104.93' TO A POINT; THENCE S13°02'39"W, 16.85' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 952.16', A LENGTH OF 91.89', A CHORD BEARING S10°16'46"W, AND A CHORD OF 91.85' TO A POINT; THENCE S07°30'54"W, 72.14' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100.00', A LENGTH OF 24.87', A CHORD BEARING S14°38'25"W, AND A CHORD OF 24.81' TO A POINT; THENCE S21°45'55"W, 187.48' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100.00', A LENGTH OF 25.12', A CHORD BEARING S14°34'07"W, AND A CHORD OF 25.06' TO A POINT; THENCE S07°22'19"W, 95.80' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00', A LENGTH OF 95.51', A CHORD BEARING S16°29'32"W, AND A CHORD OF 95.11' TO A POINT; THENCE S 25°36'45" W, 118.89' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 614.71', A LENGTH OF 75.09', A CHORD BEARING S22°06'47"W, AND A CHORD OF 75.04' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 90.00', A LENGTH OF 50.01', A CHORD BEARING S34°31'53"W, AND A CHORD OF 49.37' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 575.00', A LENGTH OF 64.82', A CHORD BEARING OF S53°40'42"W, AND A CHORD OF 64.78' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00', A LENGTH OF 104.94', A CHORD BEARING OF S66°55'44"W, AND A CHORD OF 104.41' TO A POINT; THENCE S76°57'01"W, 11.62' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 95.00', A LENGTH OF 135.09', A CHORD BEARING S 36°12'42" W, AND A CHORD OF 124.00' TO A POINT; THENCE S04°31'38"E, 82.82' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 250.00', A LENGTH OF 121.88', A CHORD BEARING OF S09°26'20"W, AND A CHORD OF 120.67' TO A POINT; THENCE S23°24'18"W, 134.62' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 250.00', A LENGTH OF 116.91', A CHORD BEARING OF S10°00'30"W, AND A CHORD OF 115.85' TO A POINT; THENCE S03°23'19"E, 131.08' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 250.00', A LENGTH OF 54.80', A CHORD BEARING OF S09°40'05"E, AND A CHORD OF 54.69' TO A POINT; THENCE S15°56'51"E, 57.50' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00', A LENGTH OF 4.57', A CHORD BEARING S10°42'41"E, AND A CHORD OF 4.56' TO A POINT; THENCE S05°28'32"E, 32.25' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 20.00', A LENGTH OF 21.13', A CHORD BEARING OF S35°44'33"E, AND A CHORD OF 20.16' TO A POINT; THENCE S66°00'34"E, 246.73' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00', A LENGTH OF 4.53', A CHORD BEARING OF S 71°11'59" E, AND A CHORD OF 4.52' TO A POINT; THENCE S76°23'24"E, 102.31' ON THE WESTERN LINE OF THE LESSEE 100' X 100' LEASE AREA (MARKED P.O.B. 2) AND BEING THE TRUE POINT OF BEGINNING; THENCE N24°21'31"E, 86.78' TO A POINT; THENCE S65°38'29"E 100.00' TO A POINT; THENCE S24°21'31"W, 100.00' TO A POINT; THENCE N65°38'29"W, 100.00' TO A POINT; THENCE N24°21'31"E, 13.22' TO THE TRUE POINT OF BEGINNING (MARKED P.O.B. 2). CONTAINING 0.230 ACRE OF LAND.



**PLAT SHOWING A PROPOSED LESSEE  
20' ACCESS AND UTILITY EASEMENT  
AND A PROPOSED LESSEE 100' X 100'  
LEASE AREA ACROSS THE PROPERTY  
OWNED BY H. PAIGE PULLEY JR. (TAX  
PARCEL 23-14) LYING ON THE SOUTH  
LINE OF STATE ROUTE 605**

BERLIN-IVOR DISTRICT \* SOUTHAMPTON COUNTY, VIRGINIA

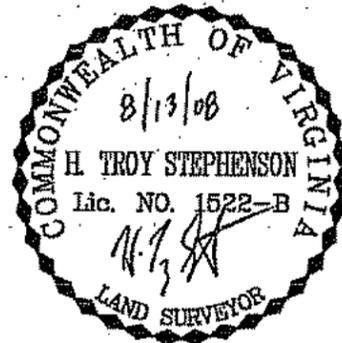
**JENNING STEPHENSON, P.C.** 10160 STAPLES MILL ROAD  
SUITE 103  
GLEN ALLEN, VA 23060  
PHONE - 804-545-6235  
FAX - 804-545-6259

LAND SURVEYORS & PLANNERS

DATE: AUGUST 14, 2008	SCALE: 1" = 180'
	J.N.: 08-542
DRAWN BY: NH	CHECK BY: HTS

**LEGAL DESCRIPTION (LESSEE 20' ACCESS AND UTILITY EASEMENT)**

BEGINNING AT A POINT ON THE SOUTH LINE OF STATE ROUTE 605 (MILLFIELD ROAD); SAID POINT BEING .4± MILE EAST OF STATE ROUTE 616 (MARKED P.O.B. 1); THENCE LEAVING THE SAID SOUTH LINE OF STATE ROUTE 605 (MILLFIELD ROAD) ALONG THE CENTERLINE OF THE LESSEE 20' ACCESS AND UTILITY EASEMENT S23°49'39"W, 10.94' TO A POINT, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 600.00', A LENGTH OF 114.78', A CHORD BEARING S 8°20'50"W, AND A CHORD OF 114.60' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 734.62', A LENGTH OF 132.26', A CHORD BEARING S18°01'29"W, AND A CHORD OF 132.08' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 65.05', A LENGTH OF 76.13', A CHORD BEARING S56°42'31"W, AND A CHORD OF 71.86' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 65.00', A LENGTH OF 22.93', A CHORD BEARING S80°07'37"W, AND A CHORD OF 22.82' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 110.00', A LENGTH OF 109.38', A CHORD BEARING S41°31'53"W, AND A CHORD OF 104.93' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 952.16', A LENGTH OF 91.89', A CHORD BEARING S10°16'46"W, AND A CHORD OF 91.85' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100.00', A LENGTH OF 24.87', A CHORD BEARING S14°38'25"W, AND A CHORD OF 24.81' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100.00', A LENGTH OF 25.12', A CHORD BEARING S14°34'07"W, AND A CHORD OF 25.06' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00', A LENGTH OF 95.51', A CHORD BEARING S16°29'32"W, AND A CHORD OF 95.11' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 614.71', A LENGTH OF 75.09', A CHORD BEARING S22°06'47"W, AND A CHORD OF 75.04' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 90.00', A LENGTH OF 50.01', A CHORD BEARING S34°31'53"W, AND A CHORD OF 49.37' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 575.00', A LENGTH OF 64.82', A CHORD BEARING S53°40'42"W, AND A CHORD OF 64.78' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00', A LENGTH OF 104.94', A CHORD BEARING S66°55'44"W, AND A CHORD OF 104.41' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 95.00', A LENGTH OF 135.09', A CHORD BEARING S36°12'42"W, AND A CHORD OF 124.00' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 250.00', A LENGTH OF 121.88', A CHORD BEARING S09°26'20"W, AND A CHORD OF 120.67' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 250.00', A LENGTH OF 116.91', A CHORD BEARING S10°00'30"W, AND A CHORD OF 115.85' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 250.00', A LENGTH OF 54.80', A CHORD BEARING S09°40'05"E, AND A CHORD OF 54.69' TO A POINT; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00', A LENGTH OF 4.57', A CHORD BEARING S10°42'41"E, AND A CHORD OF 4.56' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 20.00', A LENGTH OF 21.13', A CHORD BEARING S35°44'33"E, AND A CHORD OF 20.16' TO A POINT; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00', A LENGTH OF 4.53', A CHORD BEARING S71°11'59"E, AND A CHORD OF 4.52' TO A POINT; THENCE S76°23'24"E, 102.31' ON THE WESTERN LINE OF THE LESSEE 100' X 100' LEASE AREA. THIS EASEMENT IS DESCRIBED ALONG ITS CENTERLINE. THE TRUE LIMITS OF THE EASEMENT ARE OFFSET 10' FROM THE ABOVE DESCRIBED CENTERLINE ON BOTH SIDES, MAKING THE TRUE WIDTH 20'. CONTAINING 1.422 ACRE OF LAND.



**PLAT SHOWING A PROPOSED LESSEE  
20' ACCESS AND UTILITY EASEMENT  
AND A PROPOSED LESSEE 100' X 100'  
LEASE AREA ACROSS THE PROPERTY  
OWNED BY H. PAIGE PULLEY JR. (TAX  
PARCEL 23-14) LYING ON THE SOUTH  
LINE OF STATE ROUTE 605**

BERLIN-IVOR DISTRICT \* SOUTHAMPTON COUNTY, VIRGINIA

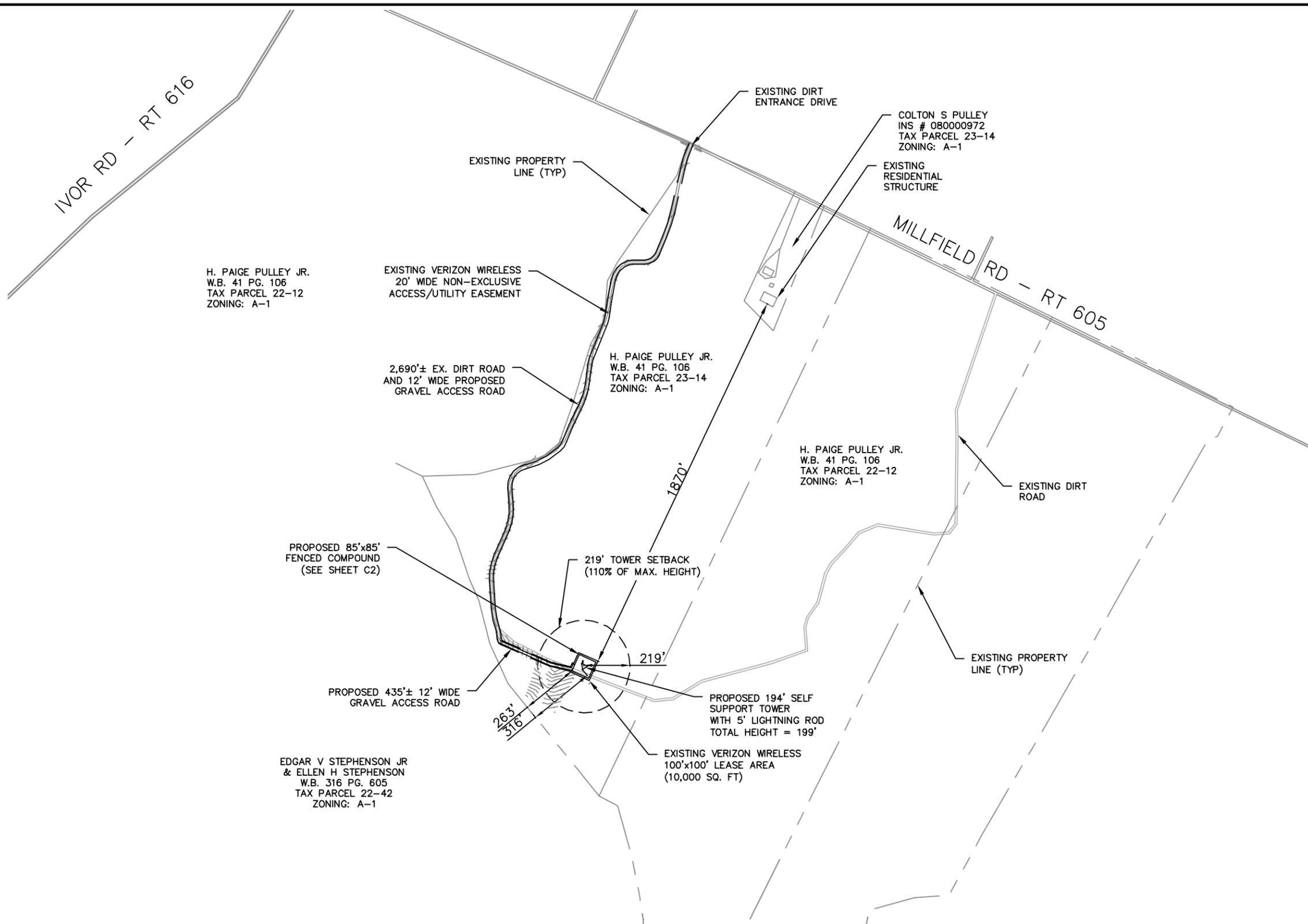
**JENNING STEPHENSON, P.C.** 10160 STAPLES MILL ROAD  
SUITE 103  
GLEN ALLEN, VA 23060  
PHONE - 804-545-6235  
FAX - 804-545-6259

**LAND SURVEYORS  
& PLANNERS**

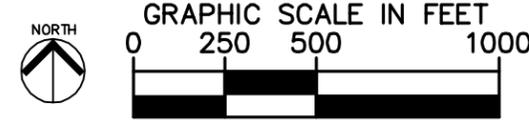


DATE: AUGUST 14, 2008	SCALE: 1" = 180'
DRAWN BY: NH	CHECK BY: HTS

Drawing name: K:\VIC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg OVERALL SITE PLAN Jun 26, 2013 6:18pm by: brian.brewer



**SURVEY NOTE:**  
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN ANY NECESSARY EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.  
 2. SITE INFORMATION BASED ON SOUTHAMPTON COUNTY GIS, A SITE VISIT ON 04/18/08 AND SURVEY INFORMATION PROVIDED BY JENNINGSTEPHENSON, P.C. DATED 08/13/08.



**VERIZON WIRELESS**  
 1831 RADY COURT  
 RICHMOND, VA 23222

PROJECT INFORMATION:  
**VERIZON NAME: BERLIN RAW LAND**  
 32168 MILLFIELD ROAD  
 IVOR, VIRGINIA 23866  
 SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:  
**JUNE 2013**

ISSUED FOR:  
**ZONING**

REV.:	DATE:	ISSUED FOR:	BY:
0	06/26/13	ZONING	

CONSULTANT:  
  
**Kimley-Horn and Associates, Inc.**  
 1700 Willow Lawn Dr, Suite 200  
 Richmond, VA 23230

CONSULTANT:  
 (Blank space for consultant name)

DRAWN BY: CHK. APV.:  
 KRB BJB BJB

LICENSER:  
  
**BRIAN J. BREWER**  
 Lic. No. 039045  
 06-26-13  
 PROFESSIONAL ENGINEER

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER: REVISION:  
**C1 0**  
 113055056

REV.:	DATE:	ISSUED FOR:	BY:
0	06/26/13	ZONING	

CONSULTANT:  
  
**Kimley-Horn and Associates, Inc.**  
 1700 Willow Lawn Dr. Suite 200  
 Richmond, VA 23230

CONSULTANT:  
 DRAWN BY: CHK. APV.: APV.  

KRB	BJB	BJB
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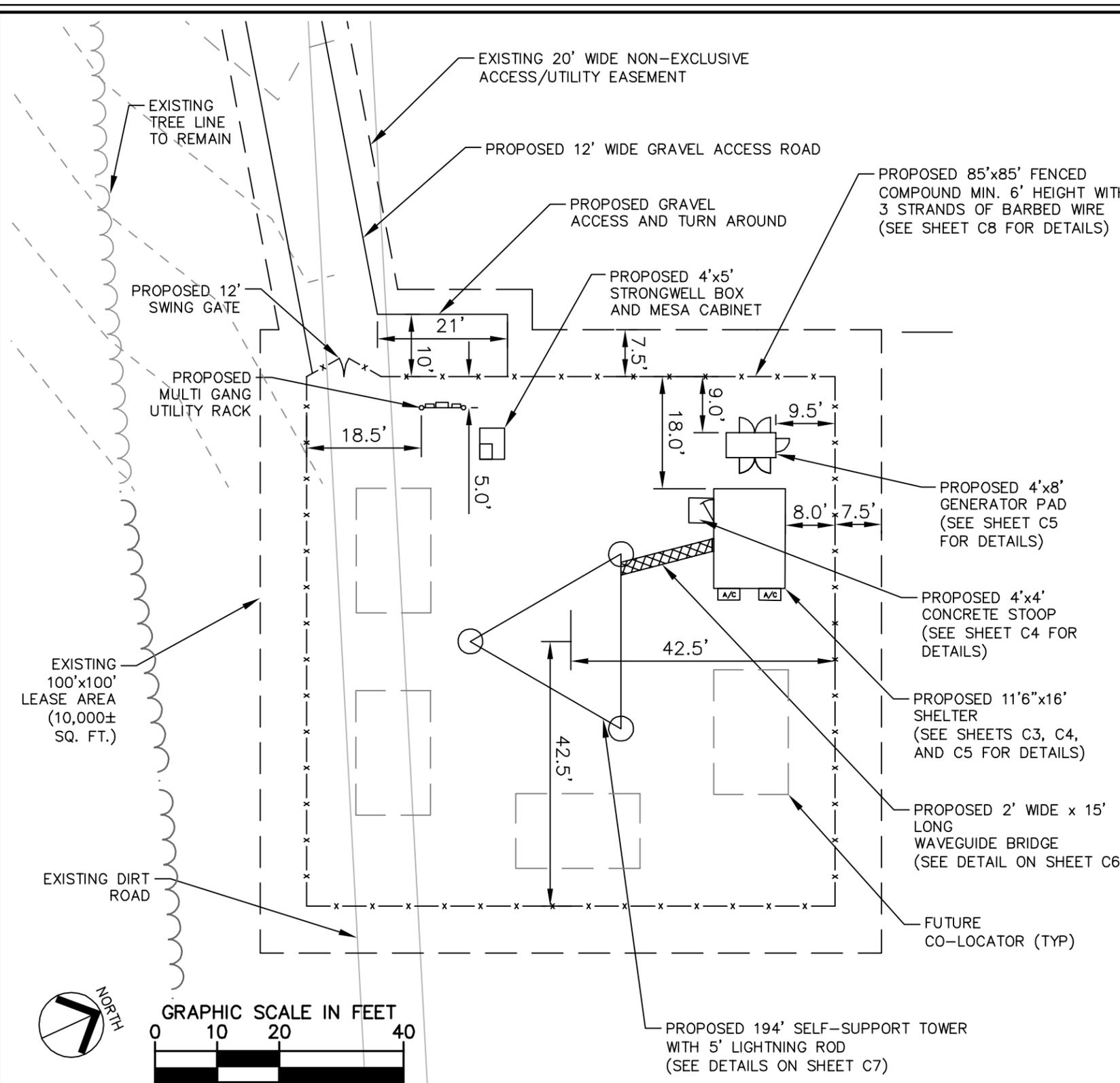
LICENSER:  
  
**BRIAN J. BREWER**  
 Lic. No. 039045  
 06-26-13

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER: **C2** REVISION: **0**  
 113055056

**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT MANAGER SHOULD BE CONTACTED FOR CLARIFICATION.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- WAVEGUIDE BRIDGE AND PRE-FAB SHELTER ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS FOR SPECIFIC INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.
- ALL FINISH GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS IS PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DRAWING FROM VERIZON CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "MISS UTILITY OF VIRGINIA" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 552-7001. ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- CONTRACTOR TO HANG ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER REQUEST AND SPECIFICATION.
- CONTRACTOR TO PROVIDE STYMIE LOCK OR APPROVED EQUIVALENT.
- UPON COMPLETION OF CONSTRUCTION AND EQUIPMENT INSTALLATION CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM SITE AND SHELTER AND SHALL SCRUB / MOP ALL FLOORING TO ENSURE SITE IS CLEAN AND IN 'OPERATION READY' CONDITION.



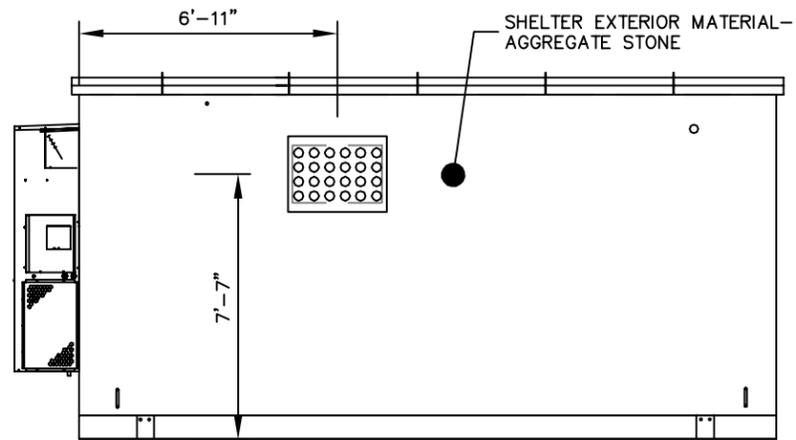
**SURVEY NOTE:**  
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN ANY NECESSARY EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.  
 2. SITE INFORMATION BASED ON A SITE VISIT AND EXISTING CONDITIONS ON 05/08/08 AND SURVEY INFORMATION PROVIDED BY JENNINGSTEPHENSON, P.C. DATED 08/13/08.

**UTILITY NOTE:**  
 1. PROPOSED FACILITY WILL BE UNMANNED. THEREFORE NO WATER OR SANITARY SEWER FACILITIES ARE REQUIRED OR PROPOSED.

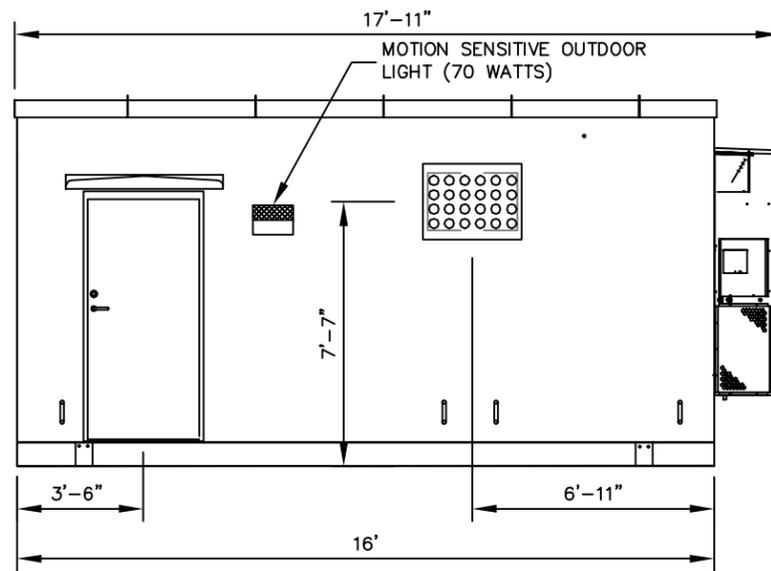
**FOUNDATION & SOILS NOTE:**  
 1. PRIOR TO FOUNDATION POURS THE CONTRACTOR SHALL TEST THE BEARING CAPACITY OF THE SOILS AND PROVIDE THE INFORMATION TO THE VERIZON CONSTRUCTION MANAGER. MINIMUM SOIL BEARING CAPACITY SHALL BE 2,000 PSF REFER TO SHEET C4 FOR FOUNDATION REQUIREMENTS.

Drawing name: K:\RIC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg SITE PLAN Jun 26, 2013 6:18pm by: brian.brewer

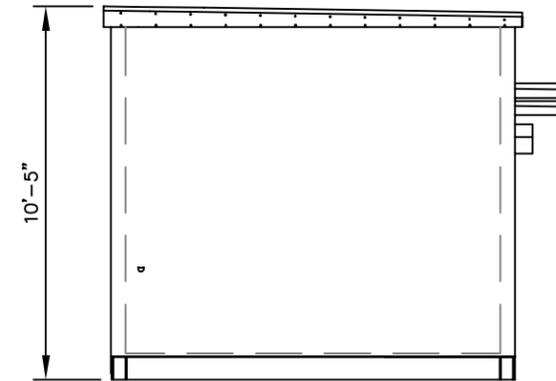
Drawing name: K:\RIC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg SHELTER ELEVATIONS Jun 26, 2013 6:18pm by: brfan.brewer



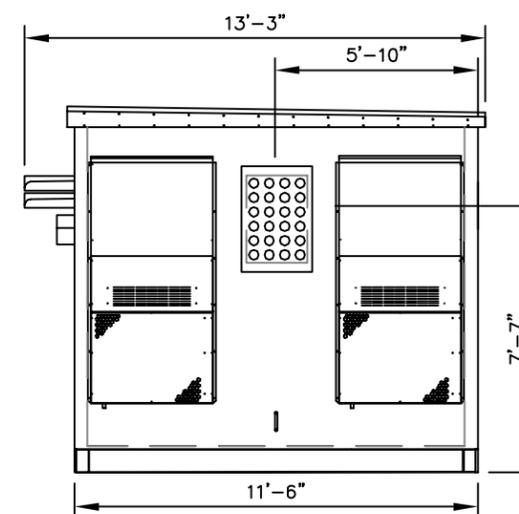
**REAR WALL ELEVATION C**  
NOT TO SCALE



**FRONT WALL ELEVATION A**  
NOT TO SCALE

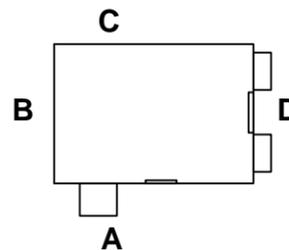


**SIDE WALL ELEVATION B**  
NOT TO SCALE



**SIDE WALL ELEVATION D**  
NOT TO SCALE

**TYPICAL WALL LAYOUT:**



PRE-FAB BUILDING WAS DESIGNED BY OTHERS AND DRAWINGS WERE PROVIDED AS PART OF VERIZON WIRELESS STANDARD DETAILS. REFER TO 11'-6" x 16' x 9' CONCRETE SHELTER DRAWINGS (MODEL VZ-12.16-1L) BY VFP, INC. FOR SPECIFIC INFORMATION.

**VERIZON WIRELESS**  
1831 RADY COURT  
RICHMOND, VA 23222

PROJECT INFORMATION:  
**VERIZON NAME: BERLIN RAW LAND**  
32168 MILLFIELD ROAD  
IVOR, VIRGINIA 23866  
SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:  
**JUNE 2013**

ISSUED FOR:  
**ZONING**

REV.:	DATE:	ISSUED FOR:	BY:
0	06/26/13	ZONING	

CONSULTANT:  
  
Kimley-Horn and Associates, Inc.  
1700 Willow Lawn Dr, Suite 200  
Richmond, VA 23230

CONSULTANT:

DRAWN BY:	CHK.:	APV.:
KRB	BJB	BJB

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY- REFER TO MANUFACTURERS APPROVED SHELTER DRAWINGS**

SHEET TITLE:  
**SHELTER ELEVATIONS**

SHEET NUMBER:	REVISION:
<b>C3</b>	<b>0</b>
	113055056



PROJECT INFORMATION:  
**VERIZON NAME: BERLIN RAW LAND**  
 32168 MILLFIELD ROAD  
 IVOR, VIRGINIA 23866  
 SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:  
**JUNE 2013**

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**ZONING**

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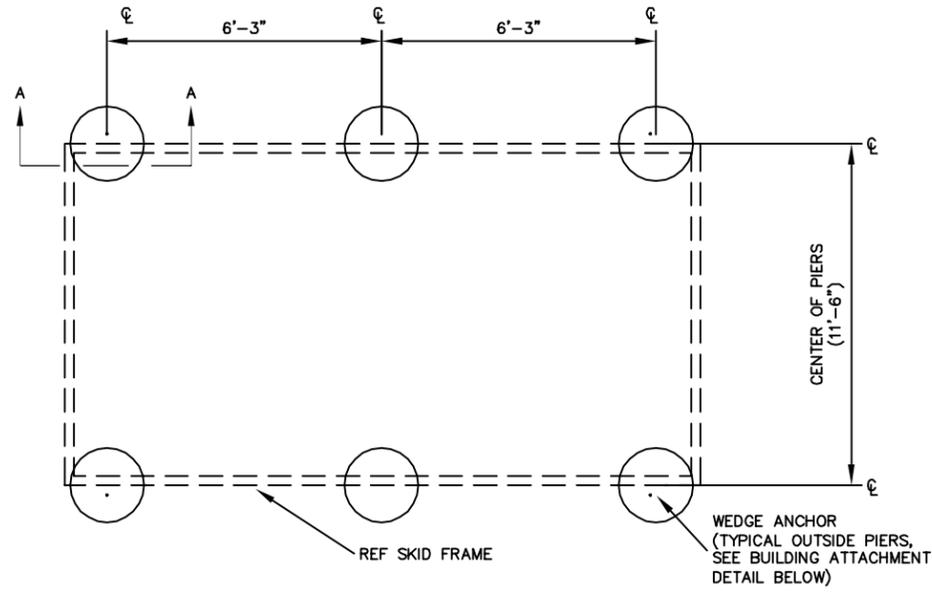
CONSULTANT:  
  
 Kimley-Horn and Associates, Inc.  
 1700 Willow Lawn Dr, Suite 200  
 Richmond, VA 23230

CONSULTANT:  
 DRAWN BY: CHK.: APV.:  
 KRB BJB BJB

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY - REFER TO MANUFACTURERS APPROVED SHELTER DRAWINGS**

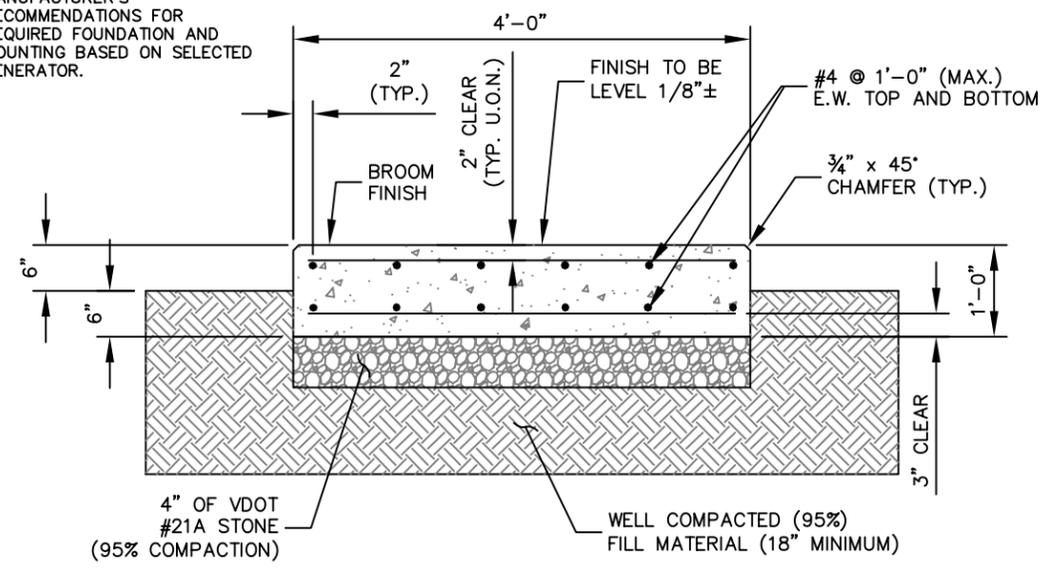
SHEET TITLE:  
**SHELTER FOUNDATION DETAILS 2 OF 2**

SHEET NUMBER: REVISION:  
**C5 0**  
 113055056

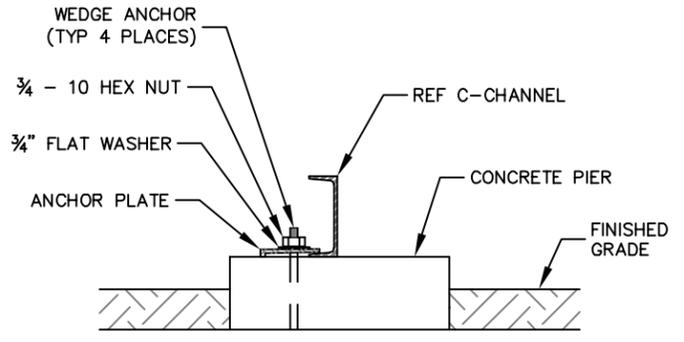


**SHELTER LAYOUT**  
 NOT TO SCALE

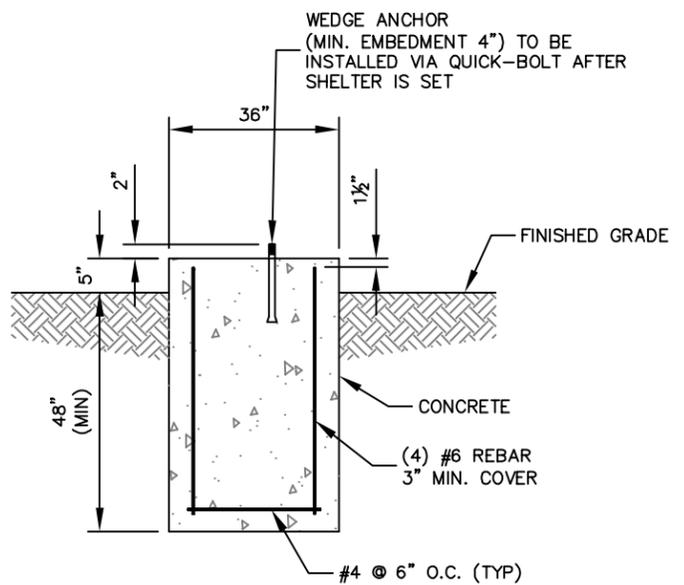
NOTE:  
 1. SECTION B-B FOR REFERENCE ONLY. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR REQUIRED FOUNDATION AND MOUNTING BASED ON SELECTED GENERATOR.



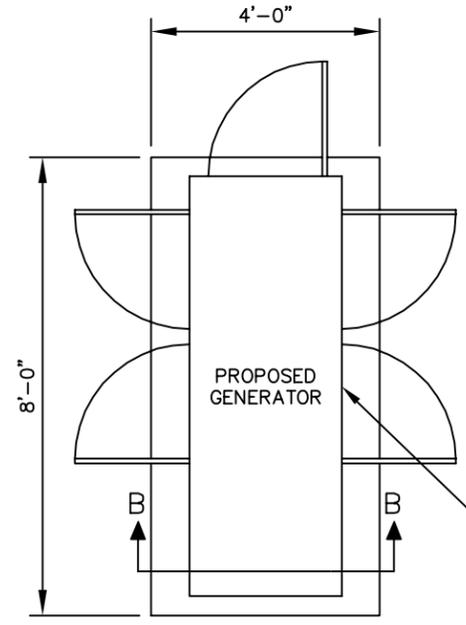
**GENERATOR FOUNDATION SECTION B - B**  
 NOT TO SCALE



**BUILDING ATTACHMENT**  
 NOT TO SCALE



**CONCRETE PIER - SECTION A-A**  
 NOT TO SCALE



**GENERATOR LAYOUT PLAN**  
 NOT TO SCALE

NOTES:  
 1. REFER TO THE SITE PLAN ON SHEET C2 FOR GENERATOR PAD LOCATION. CONFIRM FINAL LOCATION WITH VERIZON PROJECT MANAGER PRIOR TO CONSTRUCTION.  
 2. GENERATOR TO BE DESIGNED/SPECIFIED BY OTHERS. CONTRACTOR TO VERIFY REQUIRED MANUFACTURER AND MODEL WITH VERIZON PRIOR TO ORDER.

OUTLINE OF GENERATOR. PLACE ON SLAB PER MANUFACTURER'S SPECIFICATIONS - COORDINATE WITH VERIZON WIRELESS DO NOT SCALE.

NOTE:  
 ALL DETAILS PER SHELTER DRAWING BY VFP INC., SEE VFP DRAWINGS FOR ADDITIONAL INFORMATION.

Drawing name: K:\RIG\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg FOUNDATION 2 Jun 26, 2013 6:18pm by: briam.brewer

PROJECT INFORMATION:  
**VERIZON NAME: BERLIN RAW LAND**  
 32168 MILLFIELD ROAD  
 IVOR, VIRGINIA 23866  
 SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:  
**JUNE 2013**

ISSUED FOR:  
**ZONING**

REV.:	DATE:	ISSUED FOR:	BY:
0	06/26/13	ZONING	

CONSULTANT:  
  
 Kimley-Horn and Associates, Inc.  
 1700 Willow Lawn Dr, Suite 200  
 Richmond, VA 23230

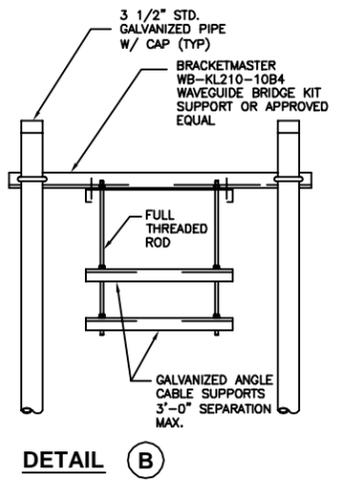
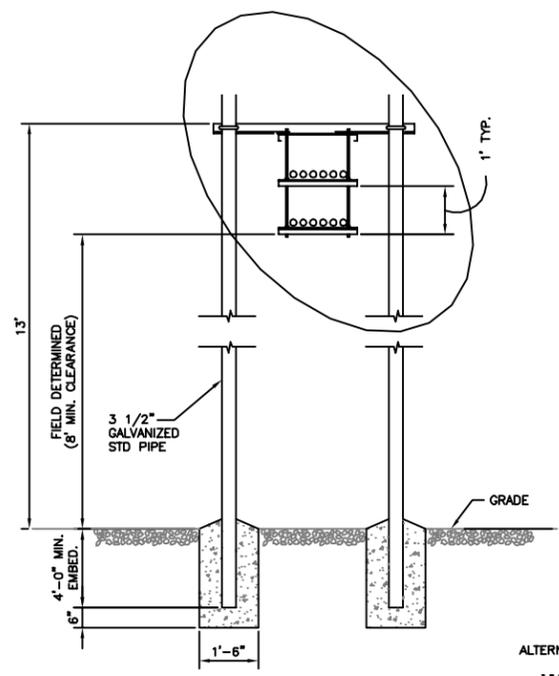
CONSULTANT:

DRAWN BY: CHK.:	APV.:
KRB	BJB

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY**

SHEET TITLE:  
**WAVEGUIDE BRIDGE & MISC. DETAILS**

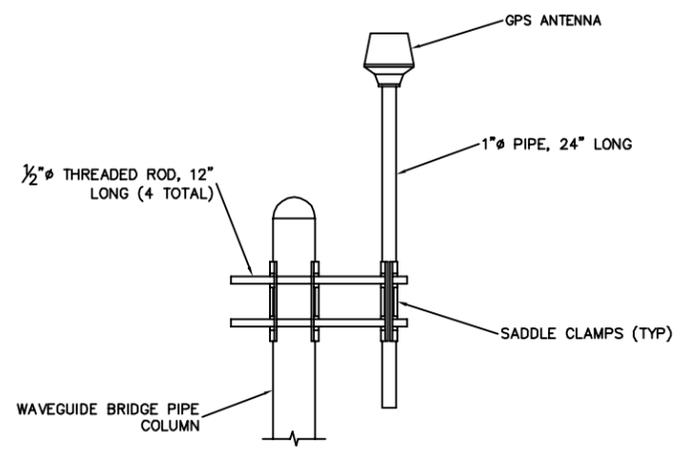
SHEET NUMBER: **C6**  
 REVISION: **0**  
 113055056



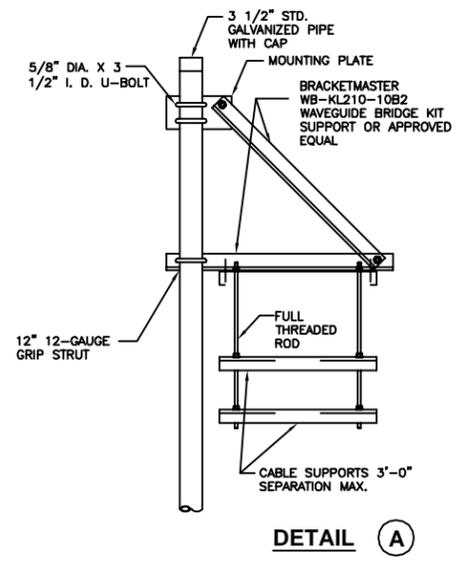
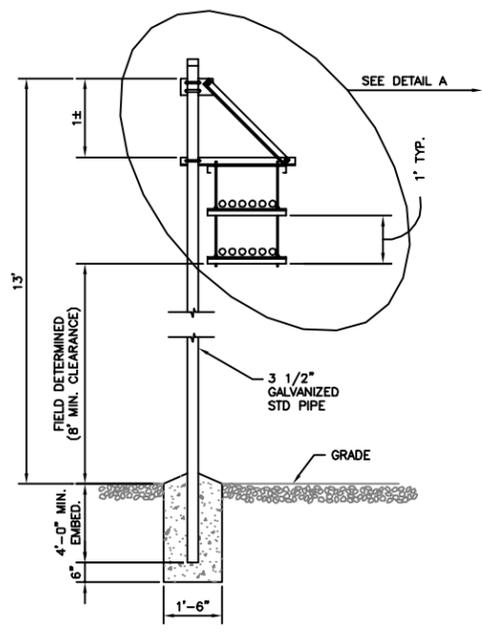
ALTERNATIVE DESIGN WITH 2 PIPE COLUMNS  
**WAVEGUIDE BRIDGE  
 DETAIL-OPTION 2**  
 NOT TO SCALE

NOTE: REFER TO GENERAL NOTES ON SHEET C2.

NOTE: ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.



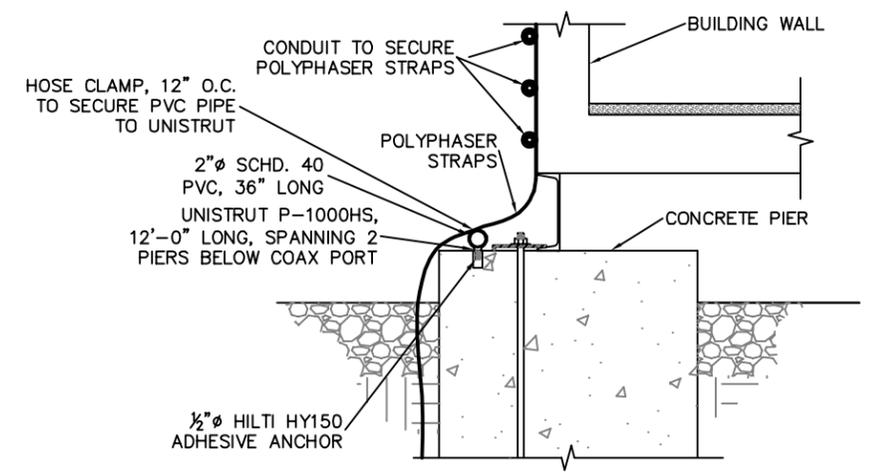
**GPS ANTENNA MOUNTING BRACKET**  
 NOT TO SCALE



**WAVEGUIDE BRIDGE  
 DETAIL-OPTION 1**  
 NOT TO SCALE

NOTE: REFER TO GENERAL NOTES ON SHEET C2.

NOTE: ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.



**POLYPHASER STRAP TIE-DOWN DETAIL**  
 NOT TO SCALE

Drawing name: K:\RIC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg WAVEGUIDE BRIDGE Jan 26, 2013 6:18pm by: brtan.brewer

PROJECT INFORMATION:  
**VERIZON NAME: BERLIN RAW LAND**  
 32168 MILLFIELD ROAD  
 IVOR, VIRGINIA 23866  
 SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:  
**JUNE 2013**

ISSUED FOR:  
**ZONING**

REV.:	DATE:	ISSUED FOR:	BY:
0	06/26/13	ZONING	

CONSULTANT:  
  
 Kimley-Horn and Associates, Inc.  
 1700 Willow Lawn Dr, Suite 200  
 Richmond, VA 23230

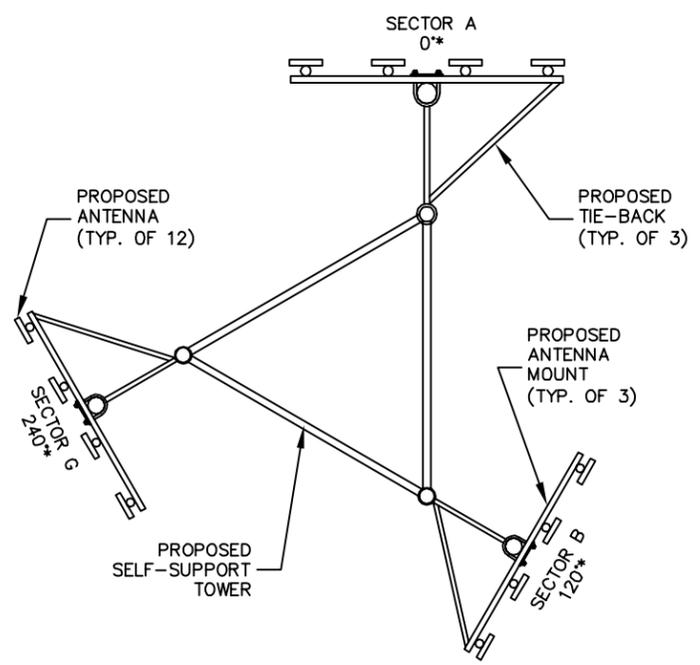
CONSULTANT:  
 (Empty box for consultant name)

DRAWN BY: CHK. APV.: APV.  
 KRB BJB BJB

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY**

SHEET TITLE:  
**TOWER ELEVATION**

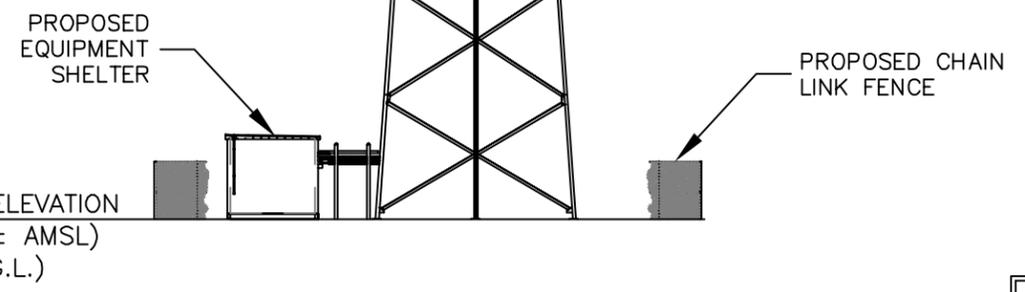
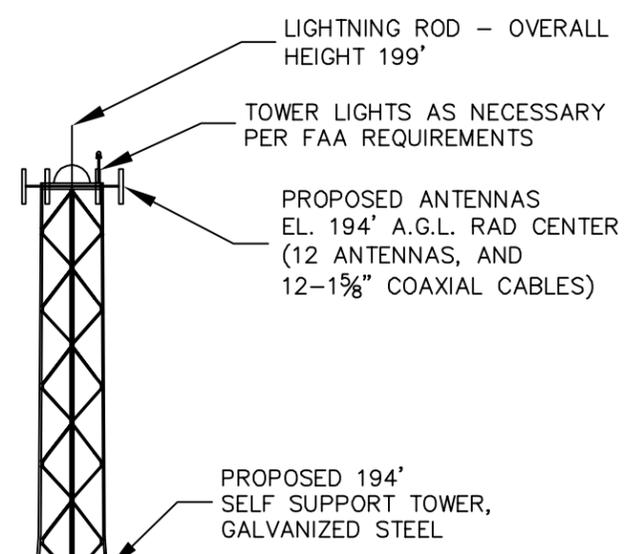
SHEET NUMBER: **C7** REVISION: **0**  
 113055056



**ANTENNA ORIENTATION PLAN**  
 NOT TO SCALE

**TENANT ANTENNA MAKE AND MODELS**

ANTENNA SECTOR	AZIMUTH IN DEGREES	MECHANICAL DOWN TILT	ANTENNA* MAKE/MODEL	COMPOSITION CABLES		
				LENGTH	SIZE	QTY.
SECTOR A	0°	2'	BXA-80080-8CF	335'±	1-5/8"φ	2
	0°	2'	BXA-185085/12CF	335'±	1-5/8"φ	2
	0°	2'	BXA-70080-8CF	335'±	1-1/4"φ	2
	0°	2'	BXA-171085-12CF	335'±	1-1/4"φ	2
SECTOR B	120°	2'	BXA-80080-8CF	335'±	1-5/8"φ	2
	120°	2'	BXA-185085/12CF	335'±	1-5/8"φ	2
	120°	2'	BXA-70080-8CF	335'±	1-1/4"φ	2
	120°	2'	BXA-171085-12CF	335'±	1-1/4"φ	2
SECTOR C	240°	2'	BXA-80080-8CF	335'±	1-5/8"φ	2
	240°	2'	BXA-185085/12CF	335'±	1-5/8"φ	2
	240°	2'	BXA-70080-8CF	335'±	1-1/4"φ	2
	240°	2'	BXA-171085-12CF	335'±	1-1/4"φ	2



**TOWER ELEVATION**  
 NOT TO SCALE

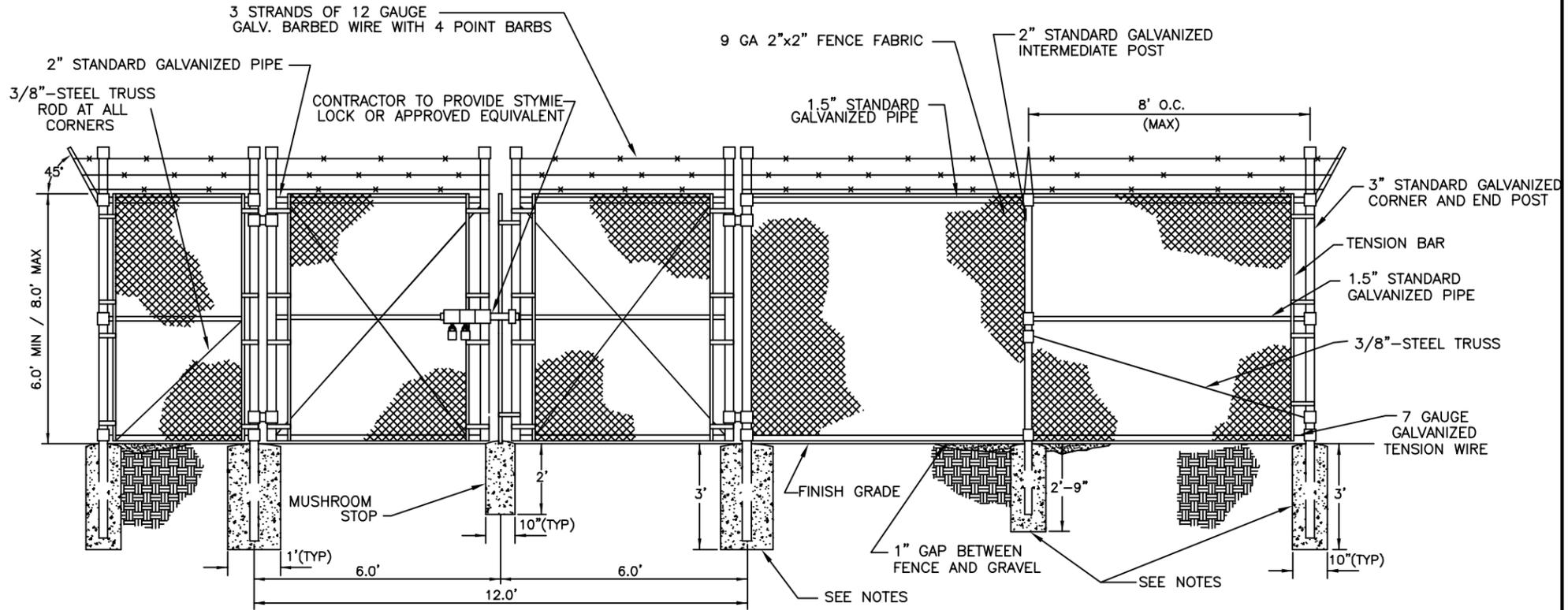
- NOTES:
- 1) ALL PROPOSED ATTACHMENTS TO TOWER BASED ON STRUCTURAL ANALYSIS AND TOWER DESIGN BY OTHERS.
  - 2) THE TOWER ELEVATION SHOWN ABOVE IS FOR REFERENCE ONLY.
  - 3) FOR CLARITY SOME EQUIPMENT NOT SHOWN.

NOTE:  
 ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA MOUNT, AND COAX CABLE INFORMATION.

Drawing name: K:\RIG\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg TOWER ELEVATION Jun 26, 2013 6:18pm by: brian.brewer

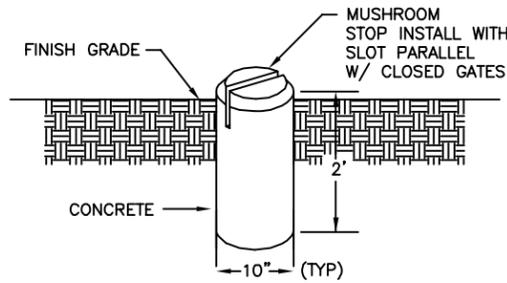
**FENCE NOTES**

1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
4. CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



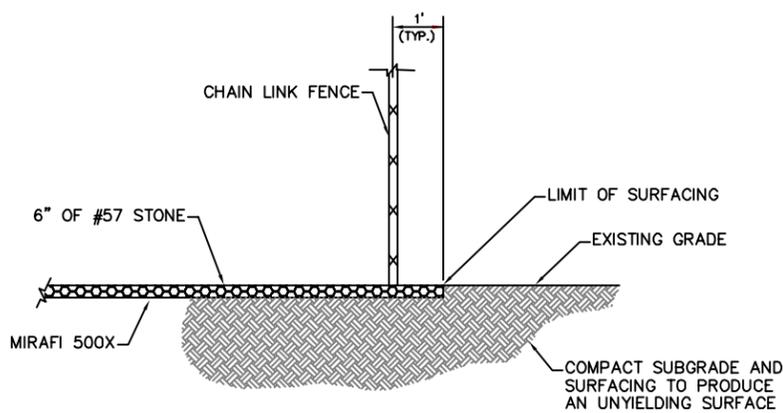
**CHAIN LINK FENCE AND GATE ELEVATION**

NOT TO SCALE



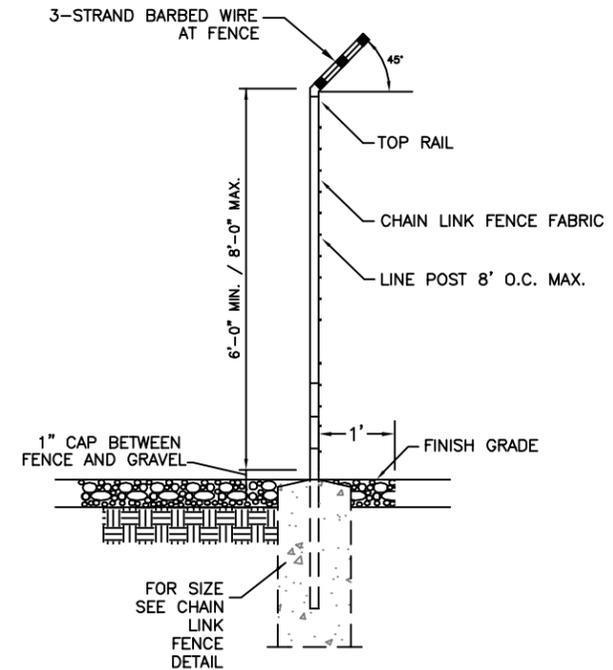
**MUSHROOM STOP**

NOT TO SCALE



**SITE COMPOUND SURFACE DETAIL**

NOT TO SCALE



**SECTION AT FENCE**

NOT TO SCALE

**VERIZON WIRELESS**

1831 RADY COURT  
RICHMOND, VA 23222

PROJECT INFORMATION:

VERIZON NAME: BERLIN  
RAW LAND

32168 MILLFIELD ROAD  
IVOR, VIRGINIA 23866  
SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:

JUNE 2013

ISSUED FOR:

ZONING

REV.: DATE: ISSUED FOR: BY:

0	06/26/13	ZONING	
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CONSULTANT:

**Kimley-Horn and Associates, Inc.**  
1700 Willow Lawn Dr. Suite 200  
Richmond, VA 23230

CONSULTANT:

DRAWN BY: CHK.: APV.:

KRB	BJB	BJB
-----	-----	-----

LICENSER:



SHEET TITLE:

**COMPOUND DETAILS**

SHEET NUMBER: REVISION:

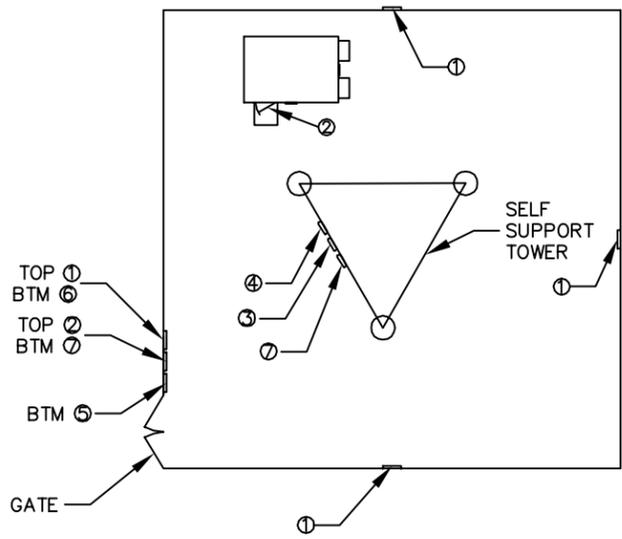
**C8**

**0**

113055056

Drawing name: K:\RIC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg COMPOND DETAILS Jun 26, 2013 6:18pm by: brian.brewer

Drawing name: K:\RIC\_CIV\113055 - Verizon Cell Towers\056 - Berlin\CAD\Berlin\_Zoning\_Dwg.dwg SIGNAGE DETAILS Jun 26, 2013 6:18pm by: briam.brewer



NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS DETAIL THIS SHEET FOR SIGN DESIGNATIONS

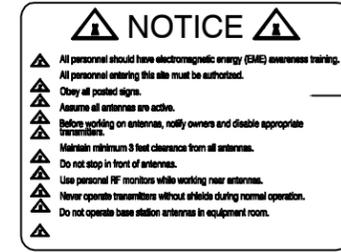
**OVERALL SIGN PLACEMENT PLAN VIEW**  
NOT TO SCALE



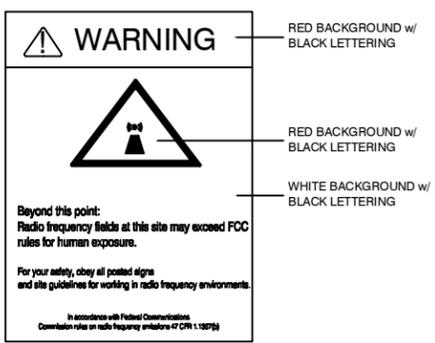
**1 NO-TRESPASSING SIGN**  
18" HIGH X 24" WIDE



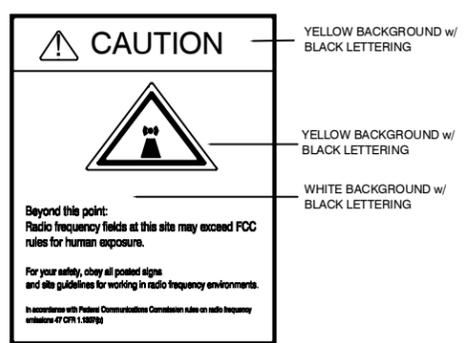
**2 VERIZON WIRELESS-SITE ID SIGN**  
18" HIGH X 24" WIDE



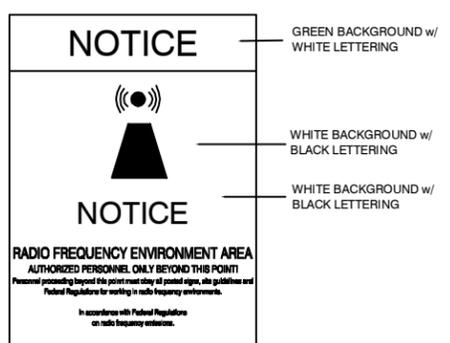
**3 NOTICE-RFE SIGN**  
12" WIDE X 18" HIGH



**4 WARNING-RF SIGN**  
12" WIDE X 18" HIGH



**5 CAUTION-RF SIGN**  
12" WIDE X 18" HIGH

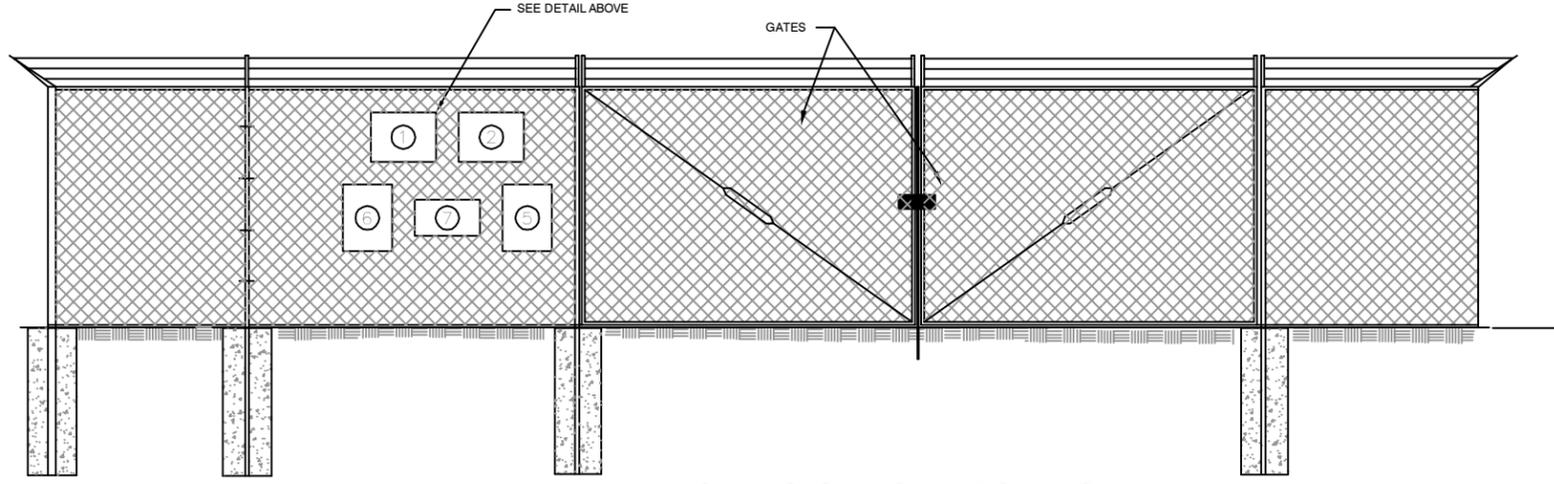


**6 NOTICE-RF SIGN**  
12" WIDE X 18" HIGH



**7 FCC REGISTRATION SIGN**  
20 WIDE X 4" HIGH

**TYPICAL SIGNS AND SPECIFICATIONS**  
NOT TO SCALE



**SITE SIGNAGE FRONT GATE VIEW**  
NOT TO SCALE

**SIGNAGE NOTES:**

- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
- ONE VERIZON SITE ID SIGN SHALL BE MOUNTED ON RIGHT DOOR OF THE SHELTER. TWO-SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL ADHESIVE SETS.

**VERIZON WIRELESS**  
1831 RADY COURT  
RICHMOND, VA 23222

PROJECT INFORMATION:  
**VERIZON NAME: BERLIN RAW LAND**  
32168 MILLFIELD ROAD  
IVOR, VIRGINIA 23866  
SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:  
**JUNE 2013**

ISSUED FOR:  
**ZONING**

REV.:	DATE:	ISSUED FOR:	BY:
0	06/26/13	ZONING	

CONSULTANT:  
**Kimley-Horn and Associates, Inc.**  
1700 Willow Lawn Dr, Suite 200  
Richmond, VA 23230

CONSULTANT:

DRAWN BY: **CHK.** APV.: **APV.**  
KRB BJB BJB

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY**

SHEET TITLE:  
**SIGNAGE DETAILS**

SHEET NUMBER: **C9** REVISION: **0**  
113055056

PROJECT INFORMATION:

VERIZON NAME: BERLIN  
RAW LAND

32168 MILLFIELD ROAD  
IVOR, VIRGINIA 23866  
SOUTHAMPTON COUNTY

CURRENT ISSUE DATE:

JUNE 2013

ISSUED FOR:

ZONING

REV.: DATE: ISSUED FOR: BY:

0	06/26/13	ZONING	
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CONSULTANT:



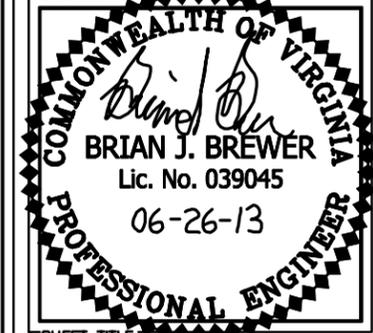
Kimley-Horn  
and Associates, Inc.  
1700 Willow Lawn Dr, Suite 200  
Richmond, VA 23230

CONSULTANT:

DRAWN BY: CHK.: APV.:

KRB	BJB	BJB
-----	-----	-----

LICENSER:



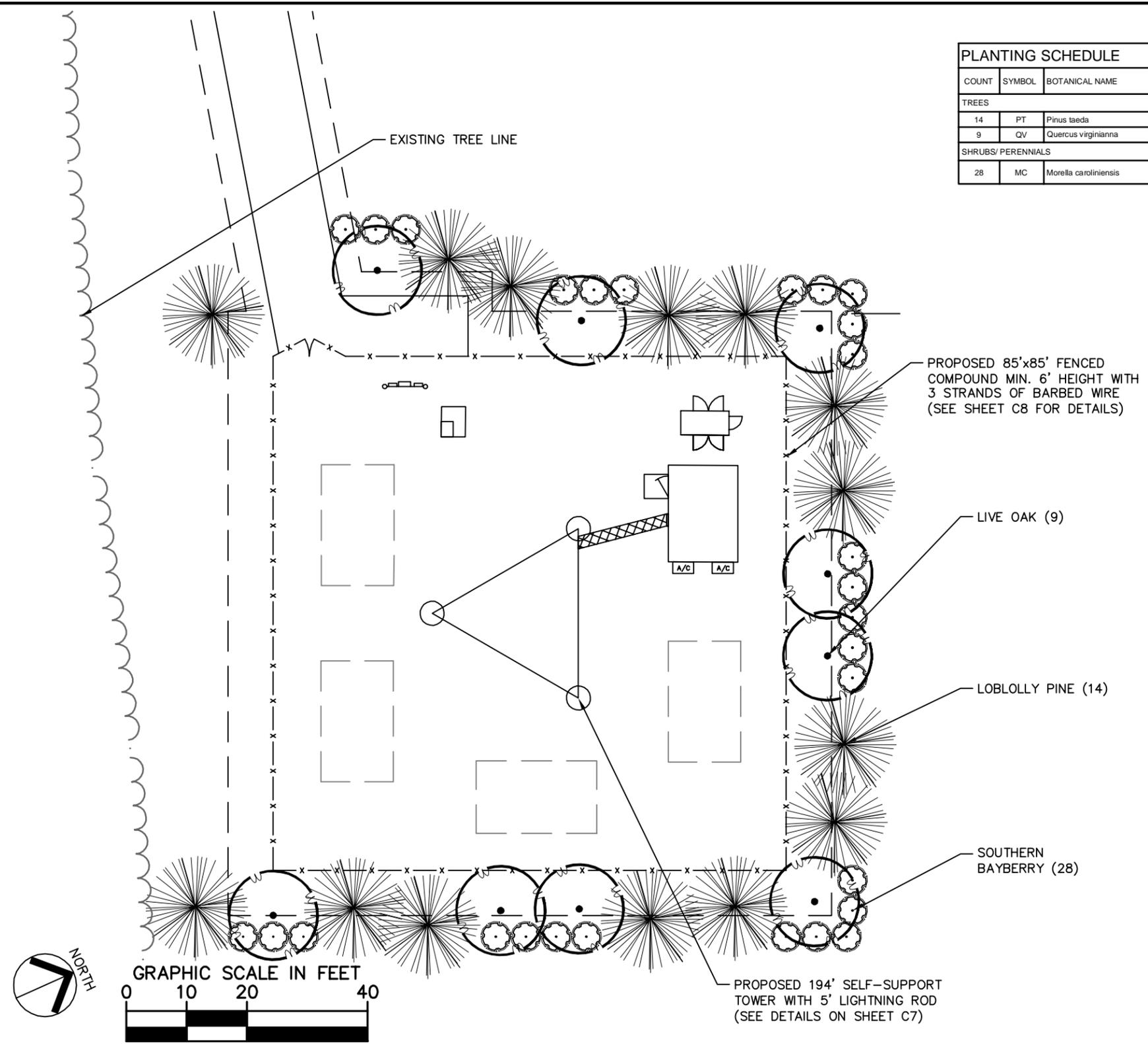
SHEET TITLE:

**LANDSCAPE  
PLAN**

SHEET NUMBER: REVISION:

<b>L1</b>	<b>0</b>
	113055056

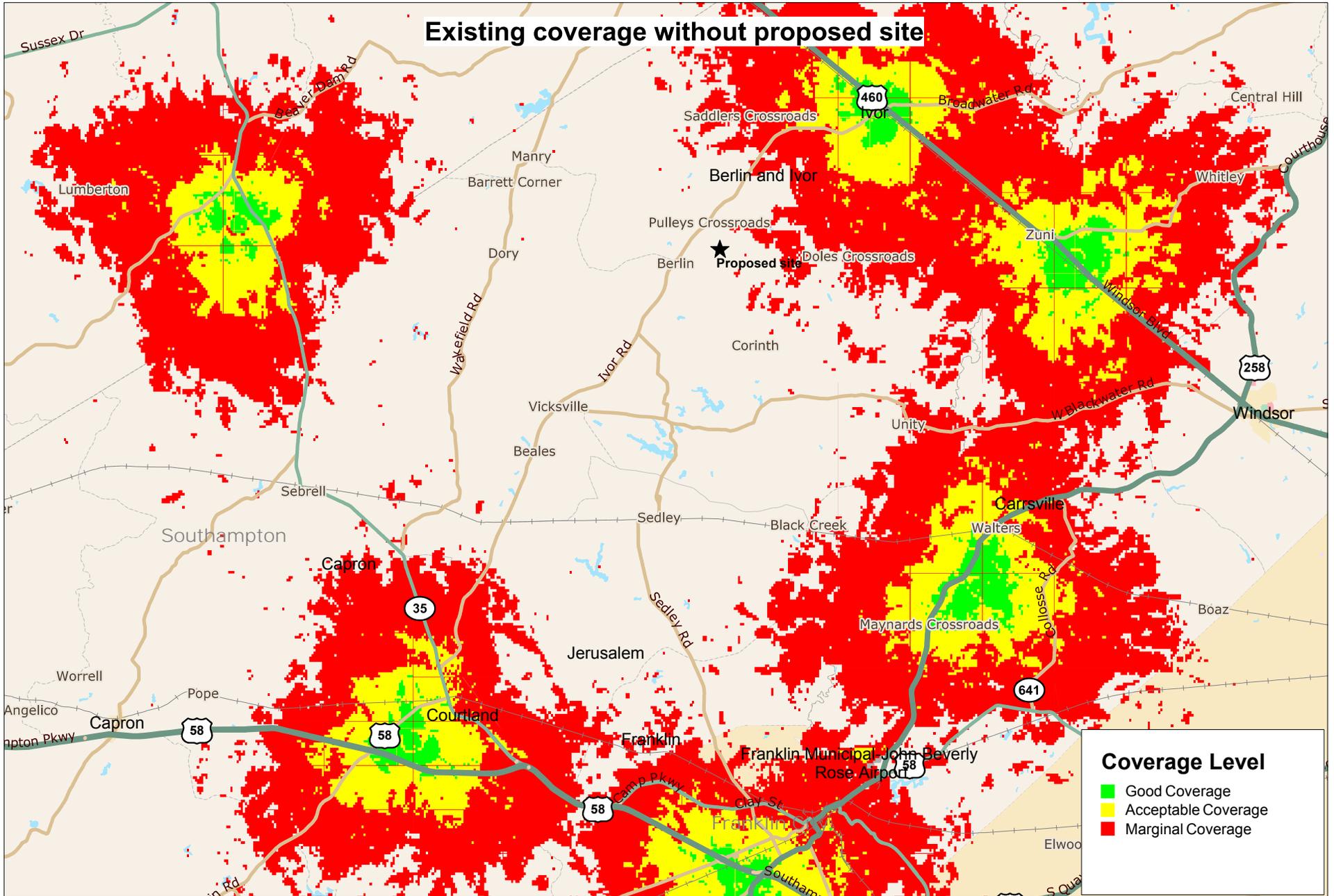
PLANTING SCHEDULE				
COUNT	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
14	PT	Pinus taeda	Loblolly Pine	2" Cal. min., 10' min. ht., straight, single trunk
9	QV	Quercus virginiana	Live Oak	2" Cal. min., 10' min. ht., straight, single trunk
SHRUBS/ PERENNIALS				
28	MC	Morella carolinensis	Southern Bayberry	5 gal. min, 18"ht. x 24" spr., Matching, Full Branching 60" O.C.



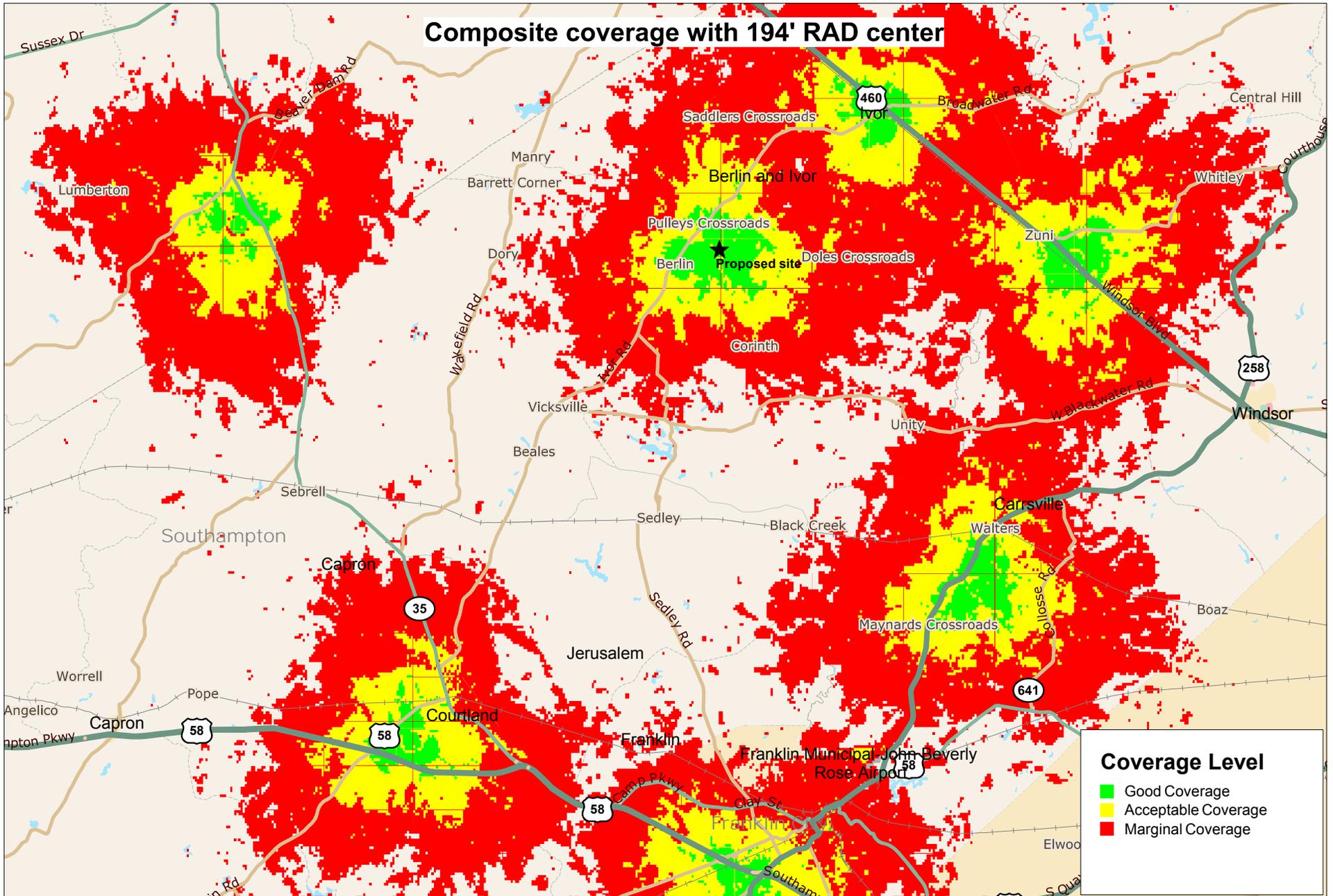
**SURVEY NOTE:**  
1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN ANY NECESSARY EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.  
2. SITE INFORMATION BASED ON A SITE VISIT AND EXISTING CONDITIONS ON 05/08/08 AND SURVEY INFORMATION PROVIDED BY JENNINGSTEPHENSON, P.C. DATED 08/13/08.

Drawing name: K:\VVA\_LAMP\Richmond\113055056\_Verizon-Berlin\CAD\Berlin\_LS Dwgsw.LS.dwg LANDSCAPE Jun 26, 2013 8:59am by: david.young

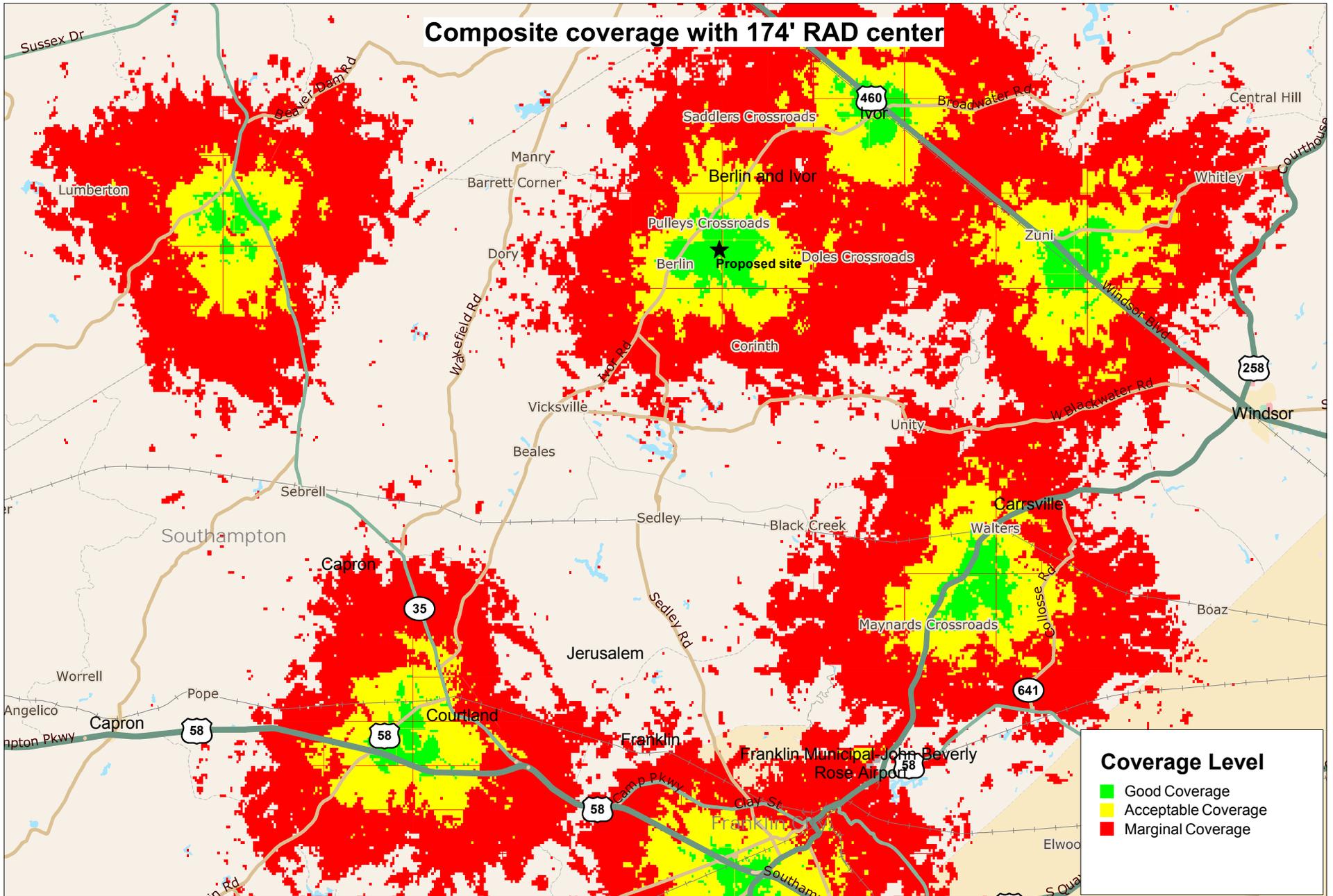
# Existing coverage without proposed site



# Composite coverage with 194' RAD center



# Composite coverage with 174' RAD center



**Coverage Level**

- Good Coverage
- Acceptable Coverage
- Marginal Coverage